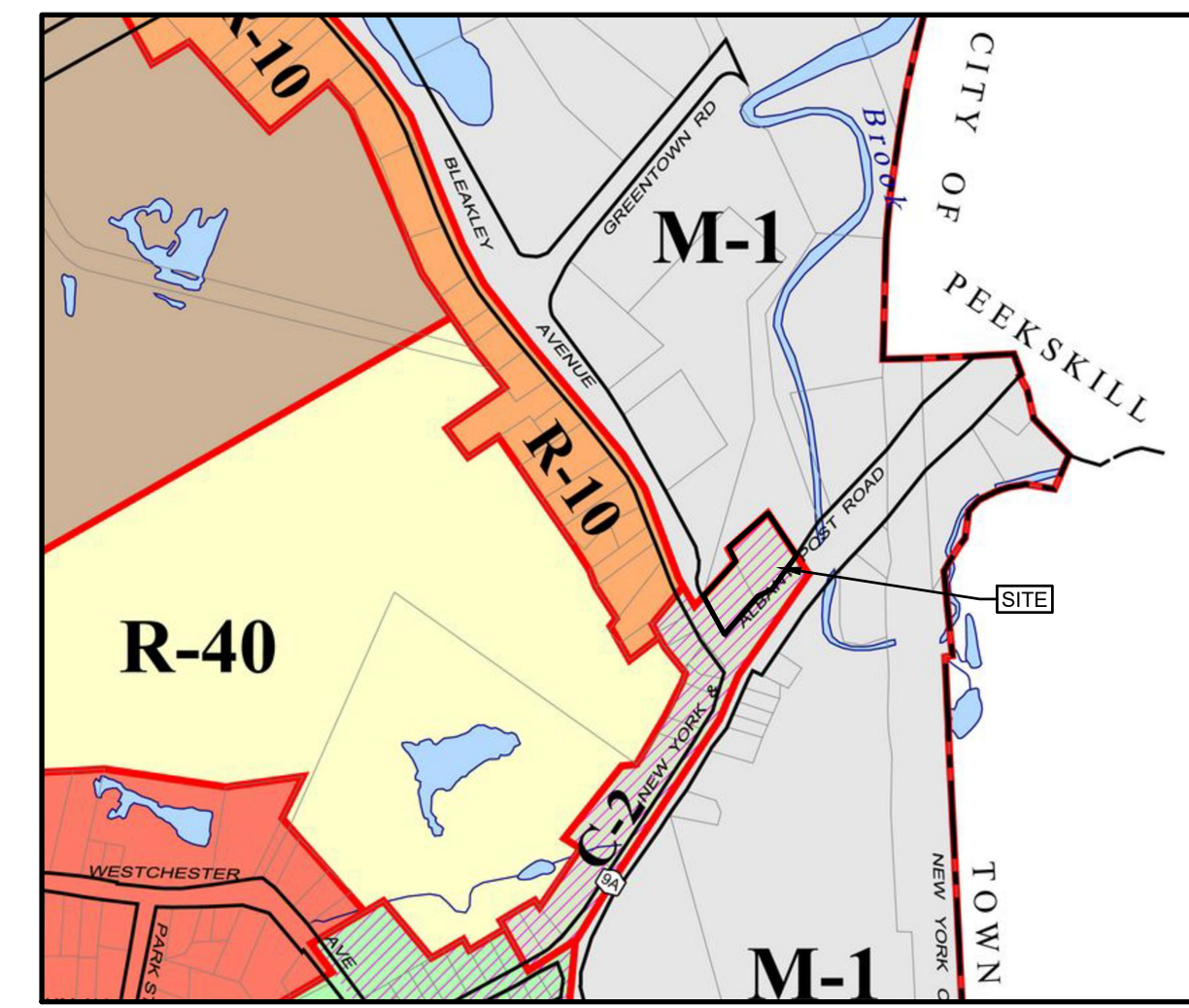


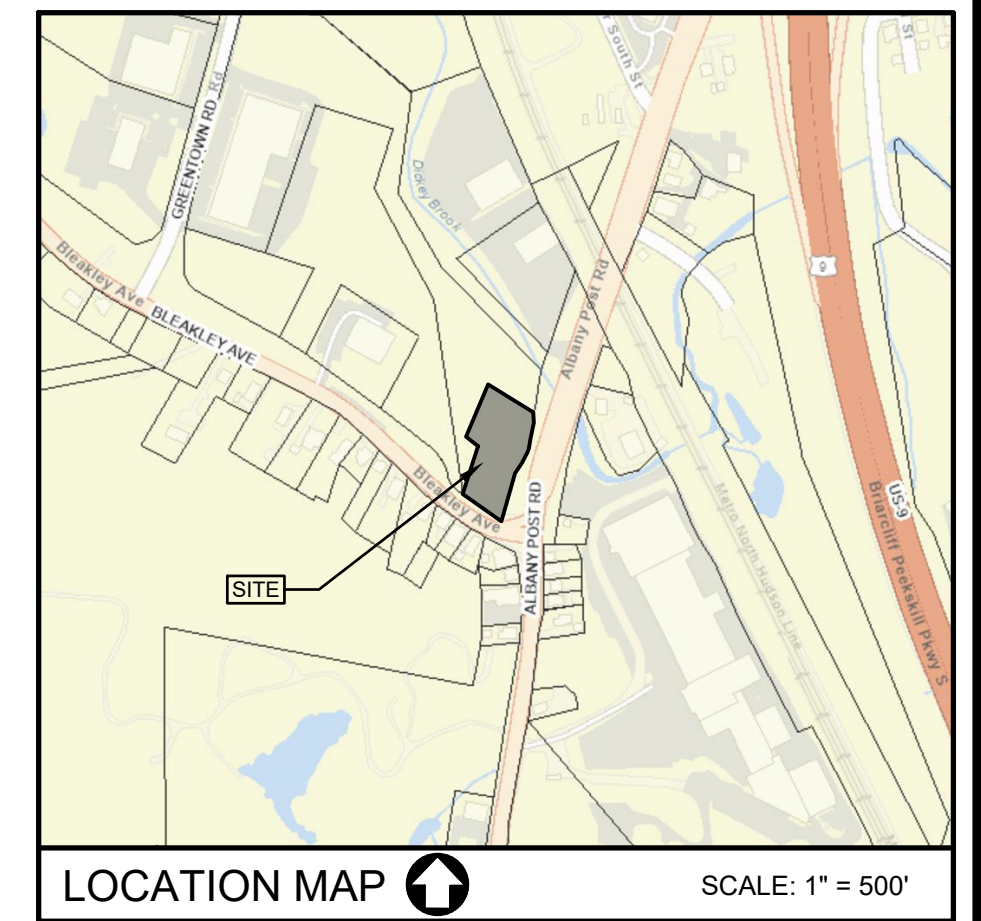


RENDERING FROM BLEAKLEY AVE

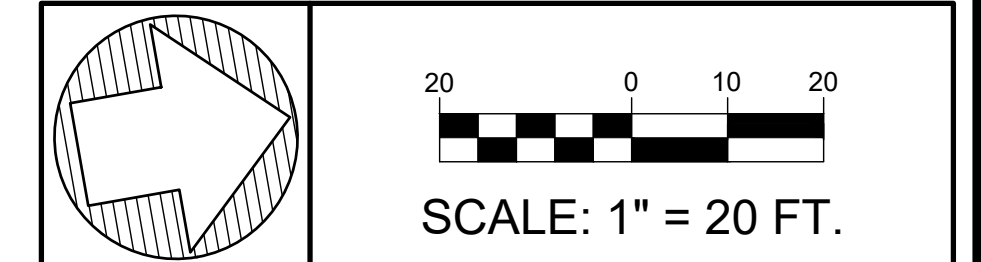
SITE DEVELOPMENT PLAN FOR 3222 ALBANY POST ROAD VILLAGE OF BUCHANAN WESTCHESTER COUNTY, NEW YORK



ZONING MAP
SCALE 1" = 500'



LOCATION MAP
SCALE: 1" = 500'



SCALE: 1" = 20 FT.

LIST OF DRAWINGS				
SHEET TITLE	SHEET NUMBER	TITLE	ISSUE DATE	LAST REVISED
CS	1 OF 7	COVER SHEET	JUNE 11, 2026	N/A
EX-1.0	2 OF 7	EXISTING CONDITIONS	JUNE 11, 2026	N/A
SP-2.0	3 OF 7	UTILITIES & GRADING PLAN	JUNE 11, 2026	N/A
SP-2.1	4 OF 7	CROSS SECTION	JUNE 11, 2026	N/A
SP-2.2	5 OF 7	STEEP SLOPES DISTURBANCE PLAN	JUNE 11, 2026	N/A
EC-3.0	6 OF 7	EROSION AND SEDIMENT CONTROL PLAN	JUNE 11, 2026	N/A
CD-4.0	7 OF 7	CONSTRUCTION DETAILS	JUNE 11, 2026	N/A



CONTRACT VENDEE

STEVE GIORDANO BUILDERS, INC.
1340 BAPTIST CHURCH ROAD
YORKTOWN HEIGHTS, NY 10598

ARCHITECT

JOSEPH G. THOMPSON ARCHITECT, PLLC
108 NORTH DIVISION STREET
PEEKSKILL, NY 10566

SURVEYOR

BADEY & WATSON
SURVEYING & ENGINEERING, DPC
3063 ROUTE 9
COLD SPRING, NY 10516

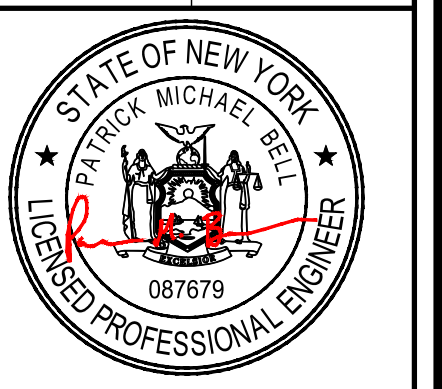
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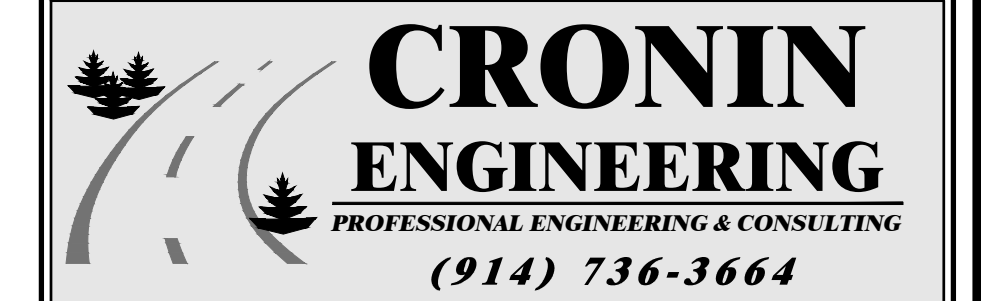
#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:

SECTION: 43.11
BLOCK: 1
LOT: 6
SUBLOT: ----
DRAWN BY: KJW/LC
CHECKED: JCA/KCS/PMB
PROJECT: 3222 ALBANY POST RD
DATE: JUNE 11, 2026
JOB #: 251203



PATRICK M. BELL, P.E.
LICENSE #087679



**39 Arlo Lane
Cortlandt Manor, New York 10567**

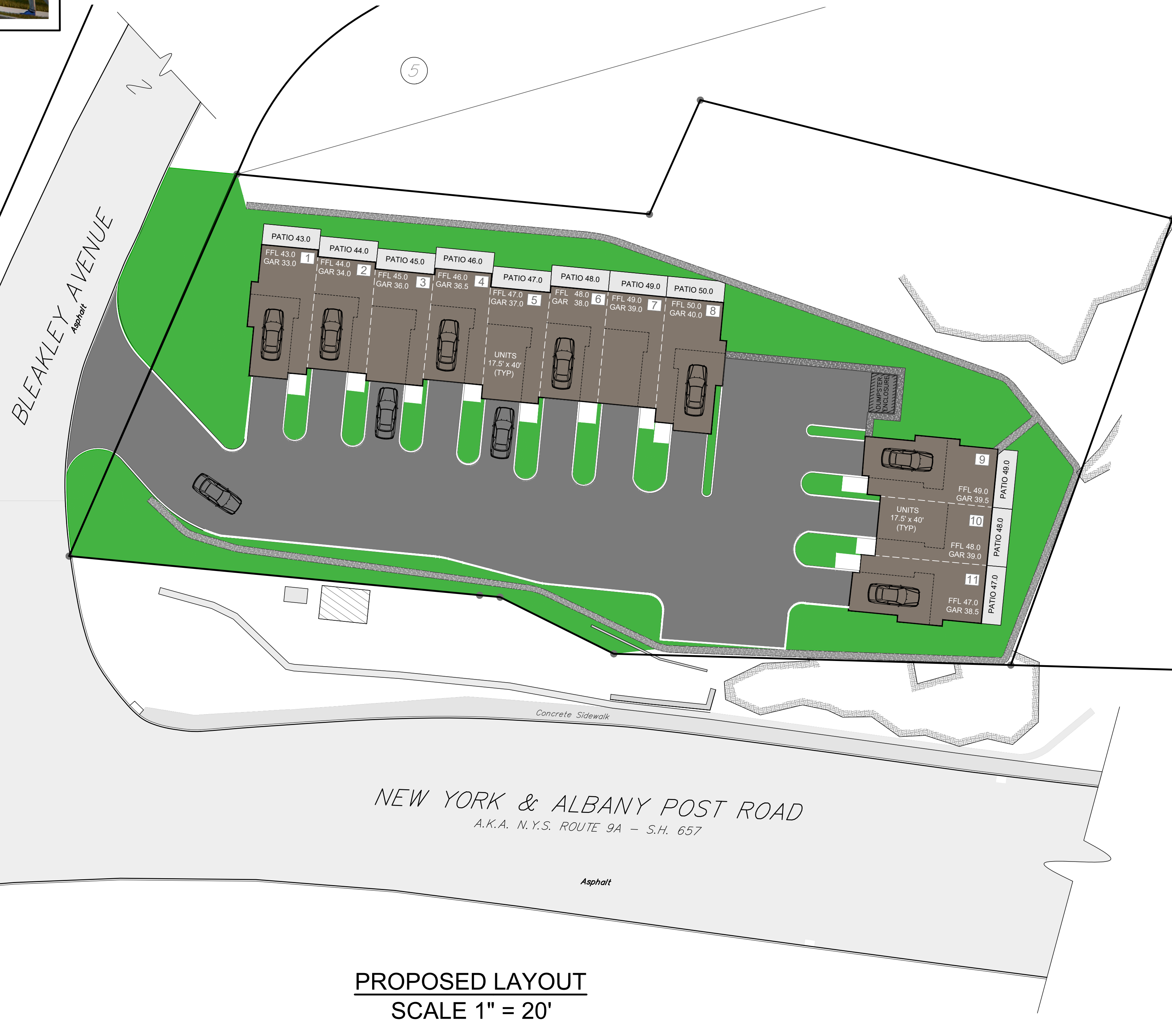
COVER SHEET

**SITE DEVELOPMENT PLAN
FOR
3222 ALBANY POST ROAD**

LOCATION:
3222 ALBANY POST ROAD
VILLAGE OF BUCHANAN, NEW YORK

SHEET 1 OF 7

CS



**PROPOSED LAYOUT
SCALE 1" = 20'**

NEW YORK & ALBANY POST ROAD
A.K.A. N.Y.S. ROUTE 9A - S.H. 657

SITE SPECIFIC NOTES:

1. PARCEL TAX MAP DESIGNATION: SECTION: 43.11, BLOCK: 1, LOT: 5 & 6
2. TOTAL AREA OF EXISTING LOT: 38,477 SQ. FT. (0.88 ACRES)
3. SURVEY & TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A SURVEY PREPARED BY BADEY & WATSON ENTITLED "SURVEY OF PROPERTY PREPARED FOR EXCELSIOR HOUSING GROUP, LLC" DATED MARCH 15, 2024.
4. PARCEL IS LOCATED IN THE FOLLOWING DISTRICTS:
 - VILLAGE OF BUCHANAN C-1 C-2 OVERLAY DISTRICT
 - BUCHANAN VILLAGE WATER DISTRICT
 - HENDRICK HUDSON SCHOOL DISTRICT
 - BUCHANAN FIRE DISTRICT
 - PEEKSKILL & HAVERSTRAW BAY BASIN (HUDSON RIVER WATERSHED)

ENGINEER'S NOTES:

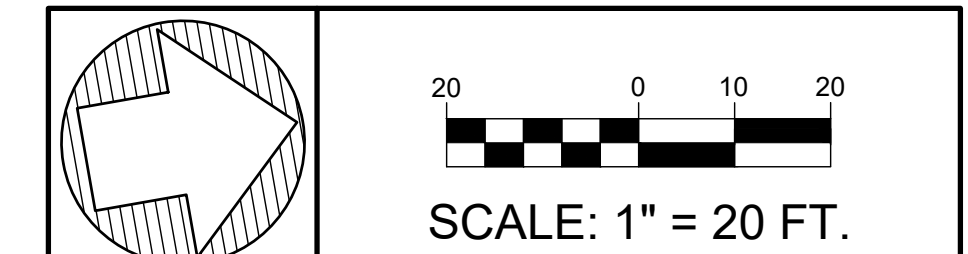
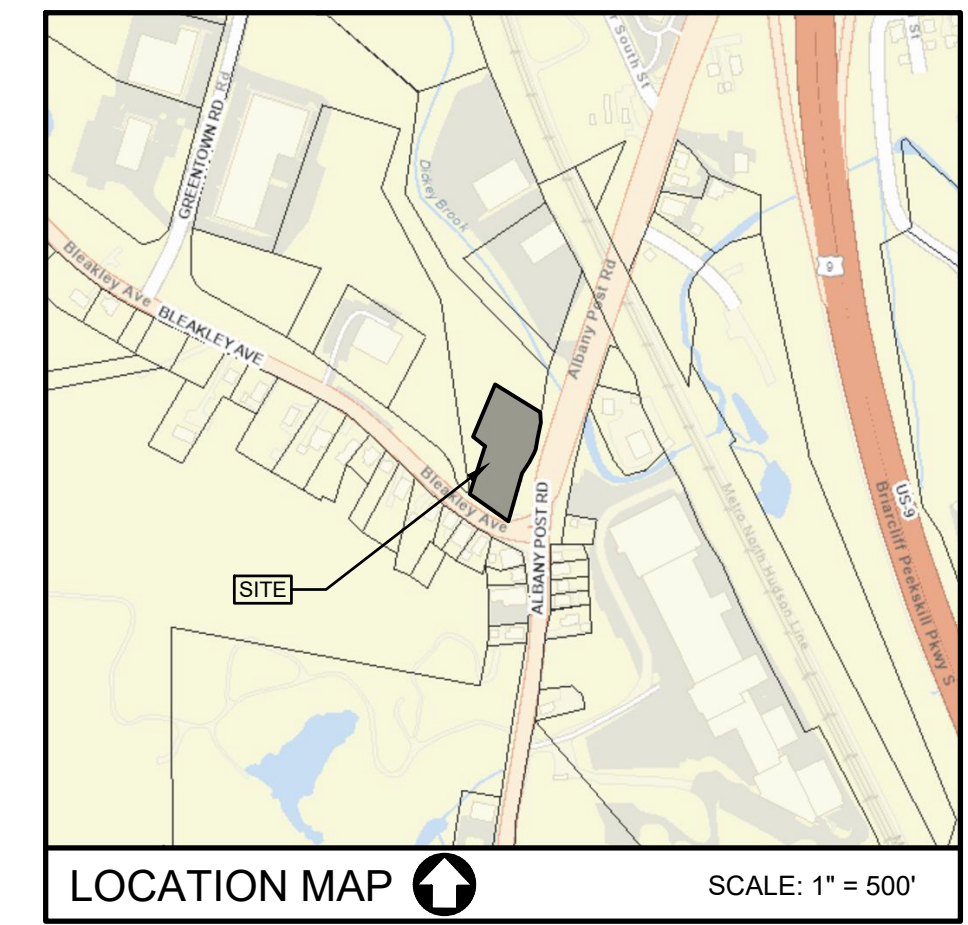
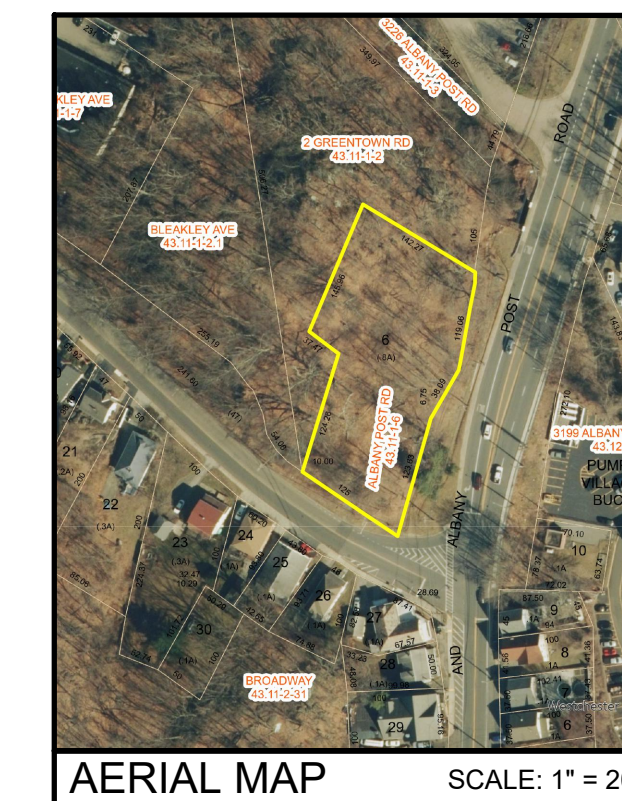
1. THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT CONTACTING THE DESIGN ENGINEER.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CODES, RULES & REGULATIONS.
3. IT IS THE OWNERS RESPONSIBILITY TO INSURE THAT ALL IMPROVEMENTS ARE PLACED ON MATERIAL WITH A SUITABLE BEARING CAPACITY.
4. CONTRACTOR TO VERIFY DEPTH & LOCATION OF ALL UTILITIES INCLUDING WATER, SEWER, DRAINAGE, GAS, TELEPHONE, ELECTRIC & CABLE PRIOR TO START OF WORK.

SPECIAL NOTES:

1. THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS AND METHODS NEEDED TO PERFORM THE CONSTRUCTION/CAVATION, E.T.C. OPERATIONS SHOWN HEREON. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A SAFE WORKING ENVIRONMENT AND PROVIDE THE MEANS AND METHODS TO PERFORM THE NECESSARY TASKS. NOTHING ON THESE PLANS SHALL OBLIGATE THE DESIGN ENGINEER AS TO THE MEANS AND METHODS TO PERFORM THE TASKS ASSOCIATED WITH THE APPROVED DESIGN PLANS. THOSE OBLIGATIONS AT ALL TIMES REMAIN WITH THE CONTRACTOR(S).
2. THESE DRAWINGS MAY OR MAY NOT TRULY REFLECT EXISTING CONDITIONS AND THAT SUCH INFORMATION IS INCLUDED ON THE ASSUMPTION THAT IT MAY BE OF INTEREST TO THE CONTRACTOR, BUT THE ENGINEER, OWNER AND THEIR CONSULTANTS DO NOT ASSUME RESPONSIBILITY FOR ITS ACCURACY OR COMPLETENESS. THE CONTRACTOR HAS AN OBLIGATION TO DETERMINE FOR ITSELF THE TRUE NATURE OF EXISTING CONDITIONS.

DEMOLITION NOTES:

1. NO WORK SHALL BE PERFORMED UNTIL A PERMIT IS ISSUED BY THE VILLAGE OF BUCHANAN.
2. ALL DEMOLITION MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
3. MATERIAL MAY BE RECYCLED/CRUSHED ON SITE AND USED FOR A SUBBASE AS DIRECTED BY ENGINEER.
4. EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED IN PLACE AS DIRECTED BY ENGINEER PRIOR TO DEMOLITION WORK.
5. AREAS WHERE ASPHALT/CONCRETE REMOVAL OCCUR SHALL BE STABILIZED WITH A LAYER OF 1" CRUSHED STONE.
6. DUST CONTROL SHALL BE PROVIDED DURING DEMOLITION OF THE SITE.



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 108 NORTH DIVISION STREET
 PEEKSKILL, NY 10566

SURVEYOR
 BADEY & WATSON
 SURVEYING & ENGINEERING, DPC
 3063 ROUTE 9
 COLD SPRING, NY 10516

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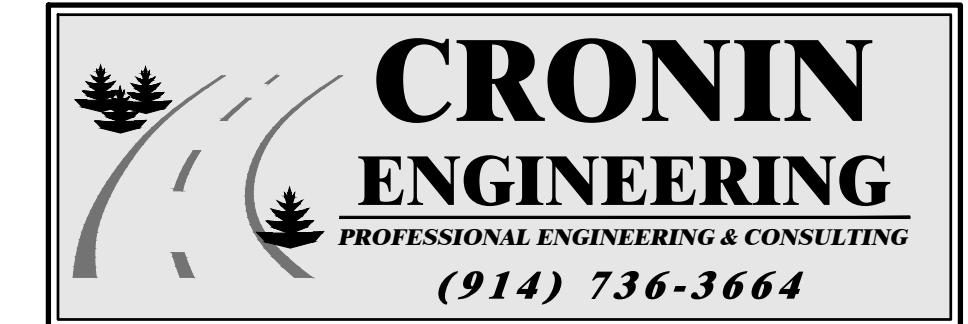
#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:

SECTION:	43.11
BLOCK:	1
LOT:	6
SUBLOT:	----

STATE OF NEW YORK
 PATRICK MICHAEL BELL
 LICENSED PROFESSIONAL ENGINEER
 087679

PATRICK M. BELL, P.E.
 LICENSE #087679



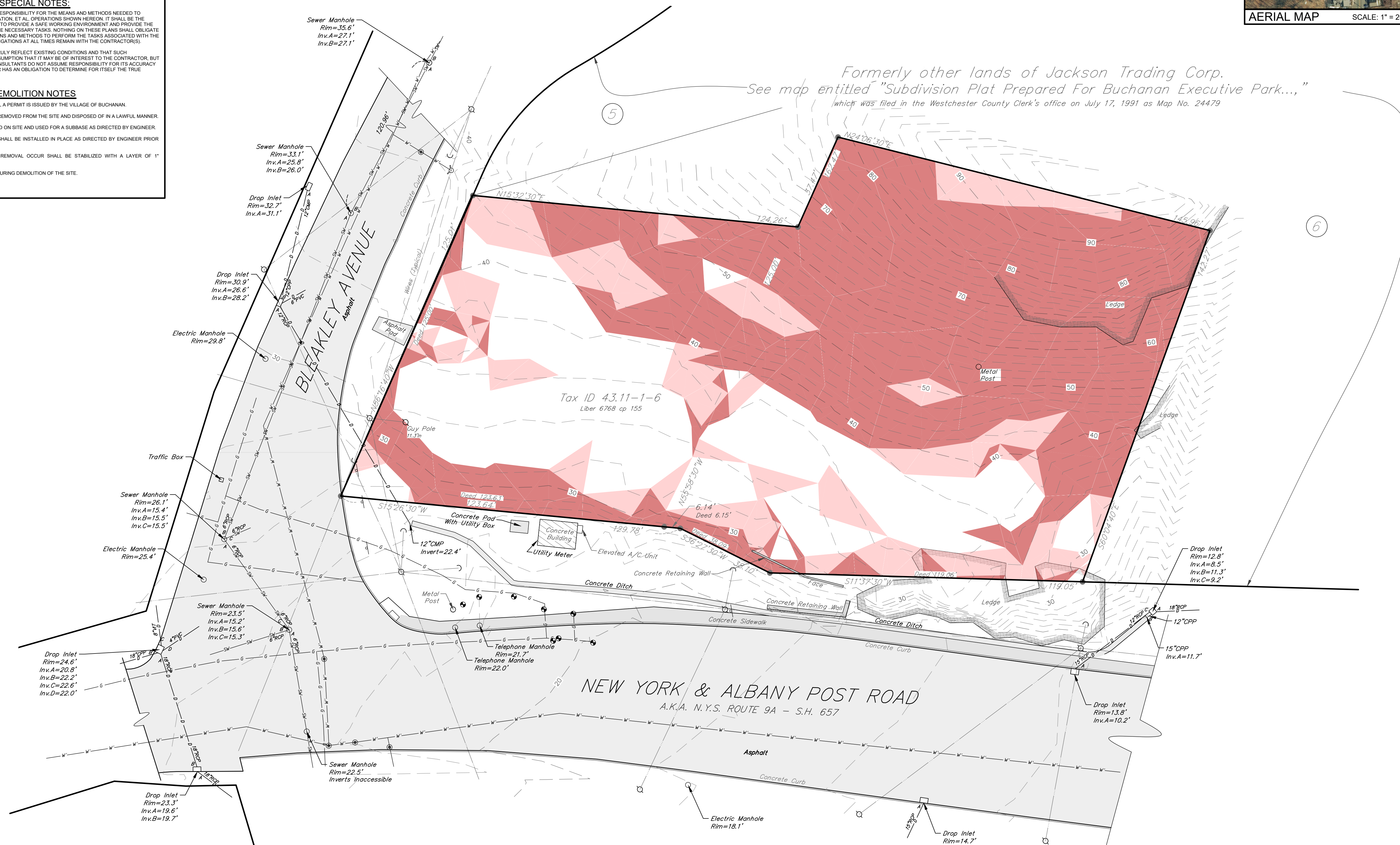
39 Arlo Lane
Cortlandt Manor, New York 10567

EXISTING CONDITIONS

SITE DEVELOPMENT PLAN FOR 3222 ALBANY POST ROAD

LOCATION:
 3222 ALBANY POST ROAD
 VILLAGE OF BUCHANAN, NEW YORK

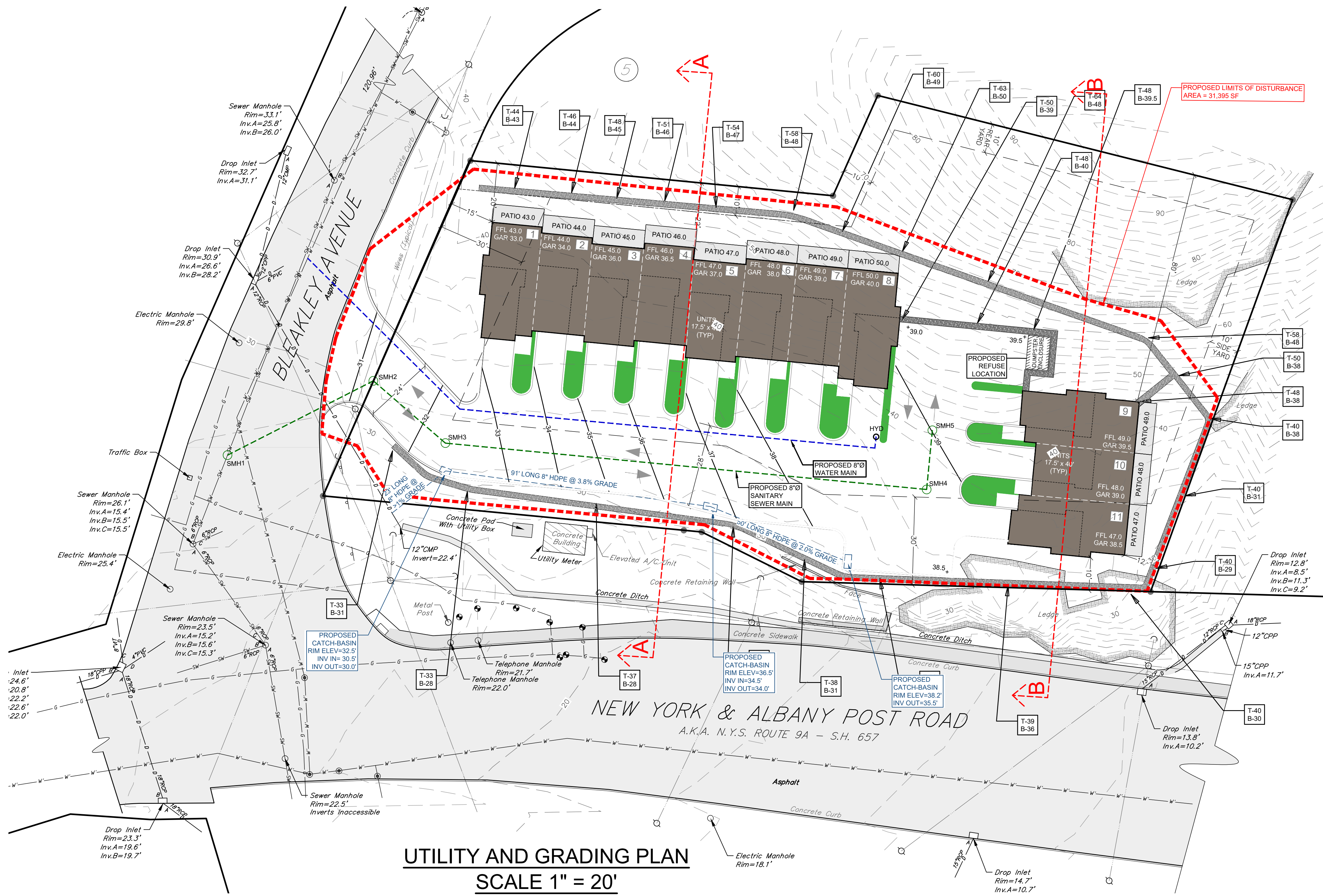
SHEET 2 OF 7 **EX-1.0**



EXISTING CONDITIONS SLOPES ANALYSIS

SLOPE RANGE	AREA (SF)
0 - 15%	11,236
15% - 30%	6,862
> 30%	20,378





UTILITY AND GRADING PLAN
SCALE 1" = 20'

ZONING DATA CHART - C-1 / C-2 OVERLAY DISTRICT

DISTRICT	MINIMUM LOT AREA (SF)	MINIMUM LOT WIDTH (FT)	MINIMUM LOT FRONTAGE (FT)	MINIMUM LOT DEPTH (FT)	MINIMUM FRONT YARD (FT)	MINIMUM SIDE YARD (FT) (1 YARD / TOTAL)	MINIMUM REAR YARD (FT)	MAXIMUM HEIGHT	MAXIMUM LOT COVERAGE (%)
C-1 / C-2 OVERLAY	20,000	100	100	100	30	5 / 15	10	2 1/2 STORIES 35 FT	75
PROPOSED	38,477	287	412	134	10 / 15'	12"	20	TBD	54

UNDERLYING ZONING DISTRICT IS C-2
 *VARIANCE REQUIRED FOR TWO FRONT YARD SETBACKS - 10 FT ON ALBANY POST ROAD / 15 FT ON BLEAKLEY AVE
 **ONE SIDE YARD ONLY DUE TO LOT BEING A CORNER LOT

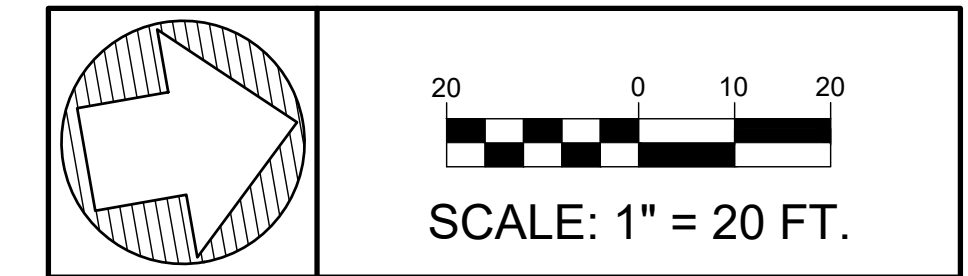
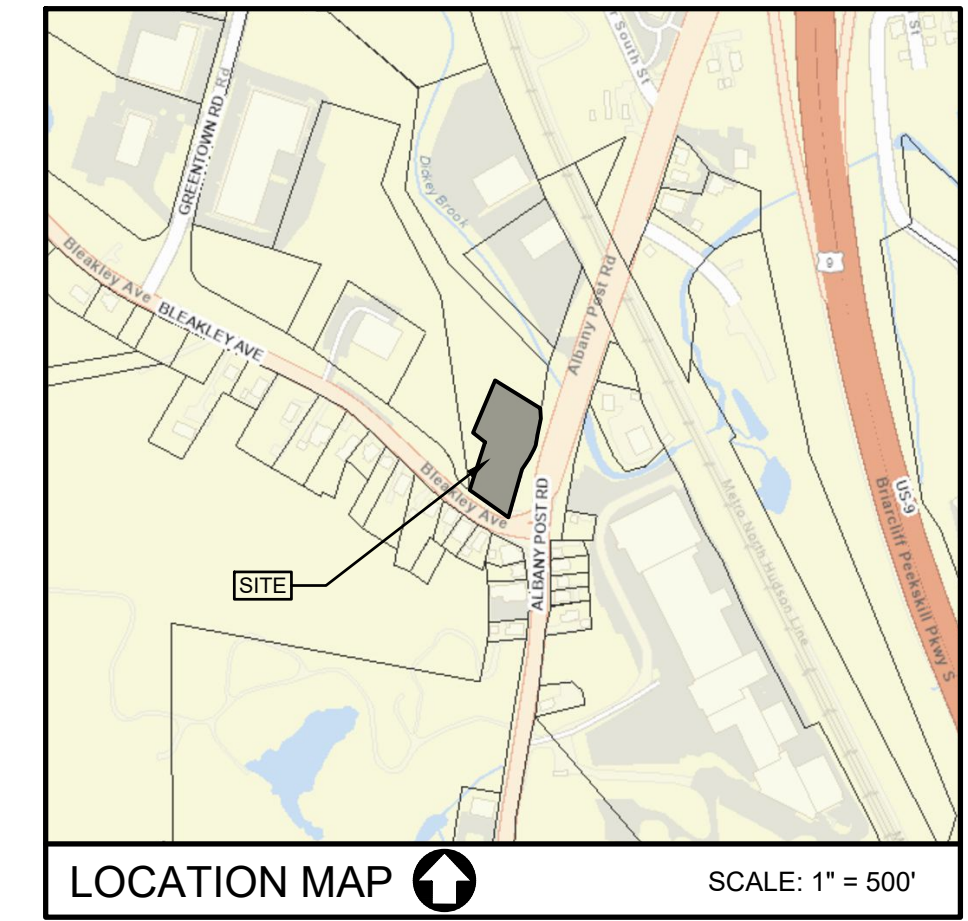
PROPOSED DISTURBANCE

PROPOSED DISTURBANCE	31,395 SF
PROP. WETLAND DISTURBANCE	0 SF
PROPOSED WETLAND BUFFER DISTURBANCE	0 SF



Village of Buchanan Schedule of Use Regulations, § 211-10

Districts	Uses Permitted by Right	Uses by Special Permit of the Planning Board or Board of Appeals	Uses by Special Permit of the Board of Trustees
C-1/C-2 Overlay District	One- and two-bedroom multifamily apartment dwellings on parcels of land not less than 20,000 square feet, in back of or over a commercial establishment, provided that each dwelling unit contains a minimum of 750 square feet, with a maximum of 8 dwelling units per 40,000 square feet (prorated), that building height does not exceed 40 feet and 3 stories, subject to compliance with § 211-24.1. No more than 50% of the total floor area may be utilized for residential purposes. Notwithstanding the above, at the sole discretion of the Planning Board, a number of the dwellings not exceeding 20% of the total may be three-bedroom units.	A. One- and two-bedroom multifamily apartment dwellings, or townhouses on parcels of land not less than 20,000 square feet, provided that each dwelling unit contains a minimum of 750 square feet, with a maximum of 12 dwelling units per 40,000 square feet (prorated), that building height does not exceed 40 feet and 3 stories, subject to compliance with § 211-24.1. Notwithstanding the above, at the sole discretion of the Planning Board, a number of the dwellings not exceeding 20% of the total may be three-bedroom units.	One and two-bedroom multifamily apartment dwellings on parcels of land not less than 4 acres, provided that each dwelling unit contains a minimum of 750 square feet with a maximum of 28 units per 40,000 square feet (prorated), and that the building height does not exceed 65 feet and 5 stories, subject to compliance with § 211-24.1. Notwithstanding the above, at the sole discretion of the Village Board, a number of dwelling units not exceeding 20% of the total, may be three-bedroom units.
	8 UNITS	11 UNITS	27 UNITS



CONTRACT VENDEE
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 1340 BAPTIST CHURCH ROAD
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 108 NORTH DIVISION STREET
 PEEKSKILL, NY 10566

SURVEYOR
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 3063 ROUTE 9
 COLD SPRING, NY 10516

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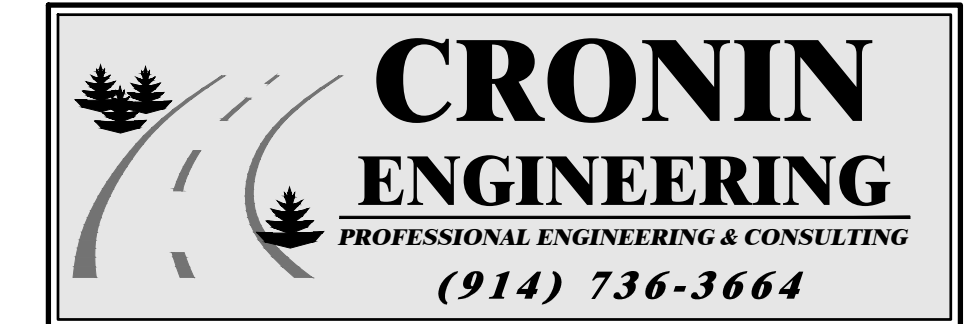
REVISIONS

#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:

SECTION:	43.11
BLOCK:	1
LOT:	6
SUBLOT:	----
DRAWN BY:	KJW/LC
CHECKED:	JCA/KCS/PMB
PROJECT:	3222 ALBANY POST RD
DATE:	JUNE 11, 2026
JOB #:	251203

PATRICK M. BELL, P.E.
LICENSE #087679



39 Arlo Lane
Cortlandt Manor, New York 10567

UTILITY & GRADING PLAN

SITE DEVELOPMENT PLAN FOR
3222 ALBANY POST ROAD

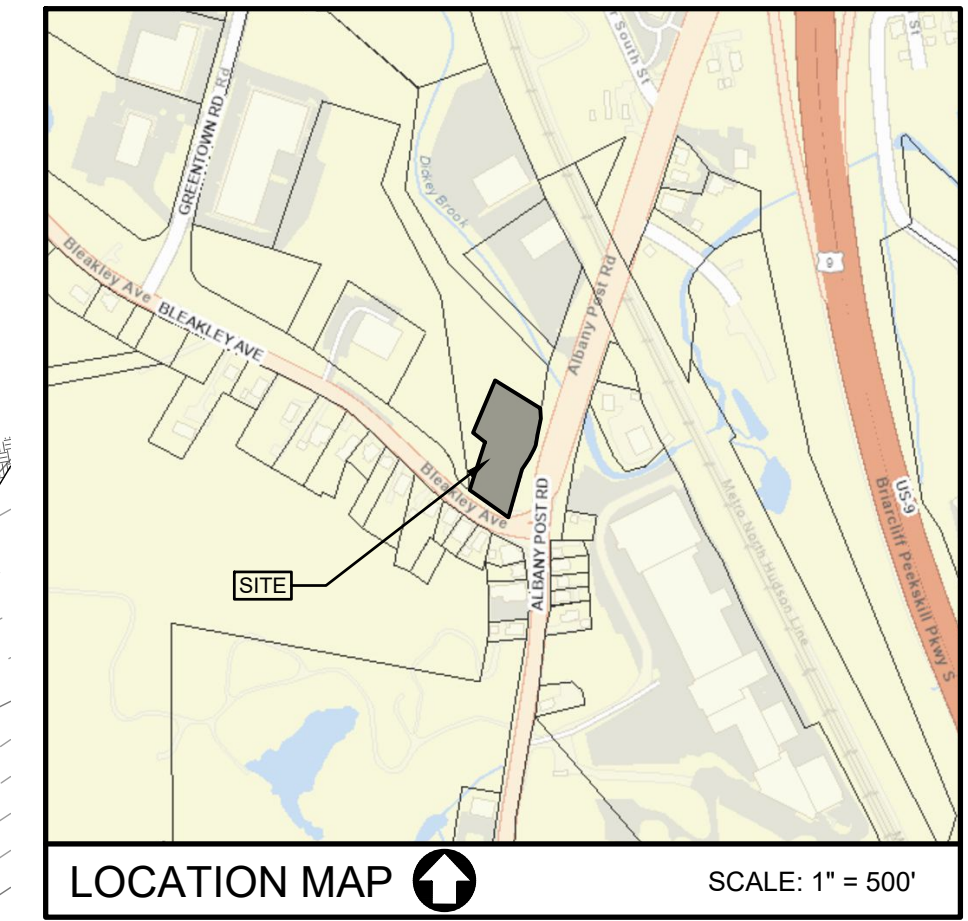
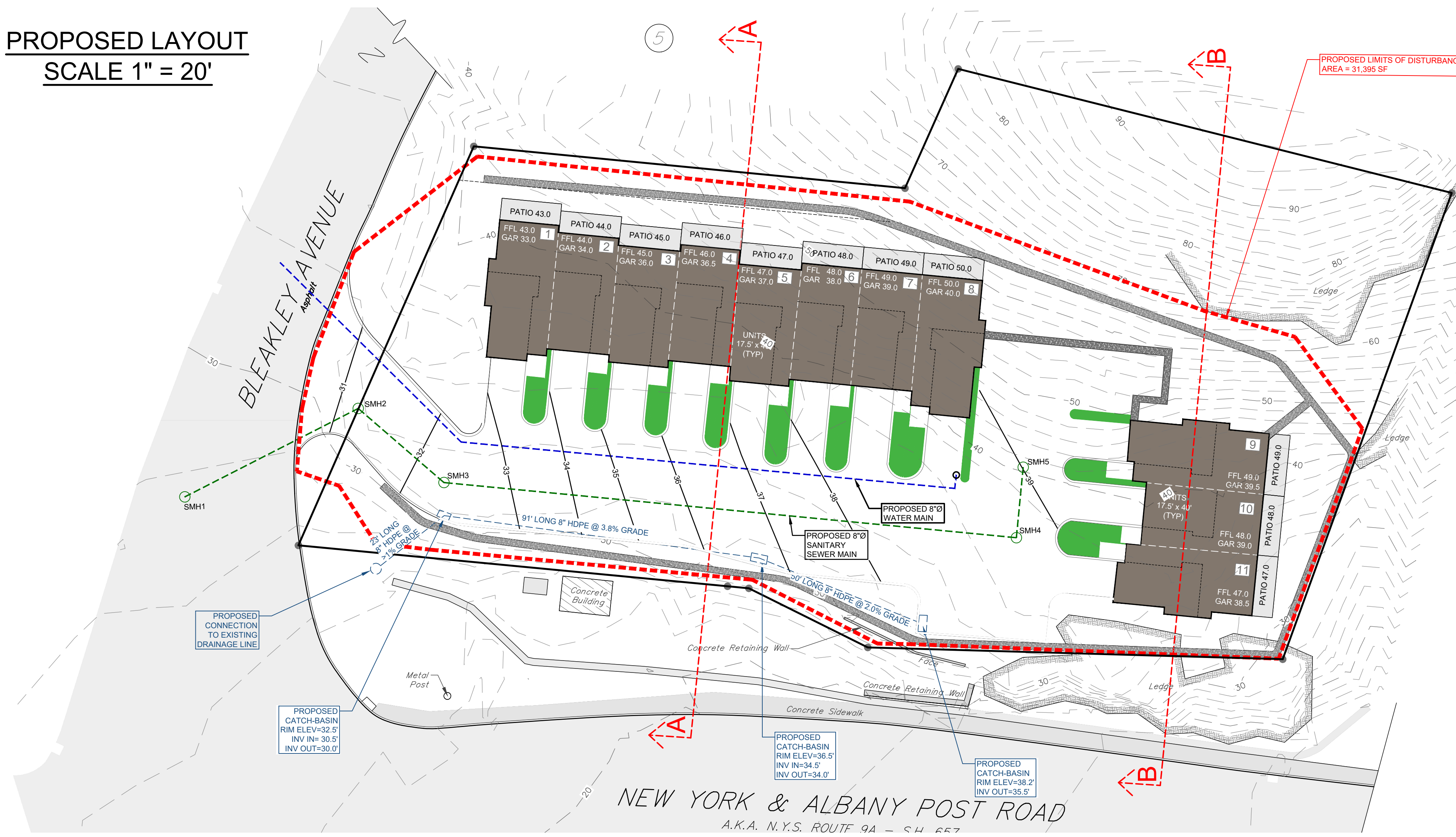
LOCATION:
 3222 ALBANY POST ROAD
 VILLAGE OF BUCHANAN, NEW YORK

SHEET 3 OF 7 **SP-2.0**

ENGINEER'S NOTES TO OWNER AND/OR CONTRACTOR

- THESE DRAWINGS MAY OR MAY NOT TRULY REFLECT EXISTING CONDITIONS AND THAT SUCH INFORMATION IS INCLUDED ON THE ASSUMPTION THAT IT MAY BE OF INTEREST TO THE CONTRACTOR. BUT THE ENGINEER, OWNER AND THEIR CONSULTANTS DO NOT ASSUME RESPONSIBILITY FOR ITS ACCURACY OR COMPLETENESS. THE CONTRACTOR HAS AN OBLIGATION TO DETERMINE FOR ITSELF THE TRUE NATURE OF EXISTING CONDITIONS.
- A PRE-CONSTRUCTION SITE INSPECTION WITH THE DESIGN ENGINEER IS REQUIRED WITH THE OWNER AND CONTRACTOR PRESENT TO CONFIRM THE CONSTRUCTION PROCEDURE.
- THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT FIRST CONTACTING CRONIN ENGINEERING FOR APPROVAL.
- PRIOR TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR SHALL CALL THE UNDERGROUND LINE LOCATION SERVICE (CODE 53) AT (800)962-7962. FOR MORE INFORMATION, VISIT WWW.DIGSAFE.NY.GOV.
- EROSION & SEDIMENT CONTROL MEASURES AS SHOWN IN THIS PLAN SET SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK. IF UNFORESEEN FIELD CONDITIONS ARE ENCOUNTERED WHICH PROHIBIT THE INSTALLATION OF CERTAIN EROSION & SEDIMENT CONTROL MEASURES AS SHOWN, IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO CONTACT THE DESIGN ENGINEER IMMEDIATELY TO DISCUSS ALTERNATIVE METHODS. IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO ENSURE THE INTEGRITY OF ALL EROSION & SEDIMENT CONTROL MEASURES AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT.
- THE DESIGN ENGINEER MAKES NO REPRESENTATIONS OR CERTIFICATIONS AS TO THE INTEGRITY, LOCATION OR EXISTENCE OF SUBSURFACE STRUCTURES OR SOIL CONDITIONS WITH RESPECT TO STABILITY AND SUITABILITY FOR THE INTENDED PURPOSE. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY ALL SUBSURFACE CONDITIONS AND INSURE THAT ALL IMPROVEMENTS ARE PLACED ON MATERIAL WITH A SUITABLE BEARING CAPACITY.
- THE DESIGN ENGINEER MAKES NO REPRESENTATION OR CERTIFICATIONS AS TO THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED FOR THE SUCCESSFUL CONSTRUCTION OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED TO SUCCESSFULLY CONSTRUCT THE PROJECT.
- IN THE EVENT THAT FIELD CONDITIONS ARE DIFFERENT THAN WHAT IS PRESENTED IN THIS PLAN SET, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO NOTIFY THE DESIGN ENGINEER PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK.
- IF UNFORESEEN SUBSURFACE CONDITIONS ARE ENCOUNTERED (I.E. ROCK, GROUNDWATER, ETC.), THE OWNER AND/OR CONTRACTOR SHALL STOP WORK AND NOTIFY CRONIN ENGINEERING. ALL NECESSARY MODIFICATIONS OR CHANGES SHALL BE DISCUSSED WITH AND APPROVED BY THE DESIGN ENGINEER PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK. FURTHERMORE, THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
- IT IS THE OWNER AND/OR CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW OSHA, NYS AND ANY OTHER APPLICABLE CODES OR REQUIREMENTS THROUGHOUT THE DURATION OF THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO PROVIDING ADEQUATE BRACING AND GUARANTEEING THE STABILITY OF EXCAVATIONS AND OTHER VICINITY STRUCTURES.
- THE DESIGN ENGINEER MAKES NO REPRESENTATION AS TO THE QUALITY (I.E. CONTAMINATION), IF ANY, OF THE SOILS ON THIS SITE. THE OWNER AND/OR CONTRACTOR ARE RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE SITE HAS NO CONTAMINATED SOILS.
- THE DESIGN ENGINEER MAKES NO REPRESENTATION AS TO THE SOIL BEARING CAPACITY OF THE SOILS ON SITE. THE OWNER AND/OR ARCHITECT ARE RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE CONSTRUCTION OF THE FOUNDATION MEETS THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE AND THE BUILDING CODE OF THE VILLAGE OF BUCHANAN. FOUNDATION DESIGN IS NOT PROVIDED BY THIS OFFICE AND IS THE RESPONSIBILITY OF THE OWNER/ARCHITECT/BUILDER.
- THE OWNER/BUILDER/ARCHITECT ARE RESPONSIBLE TO ENSURE THAT THE BUILDING FOUNDATION MEETS ALL LOCAL CODES AND THE NEW YORK STATE BUILDING CODE. IF UNSUITABLE MATERIAL IS ENCOUNTERED, THE OWNER SHALL MAKE PROVISIONS (I.E. DEEPER FOOTING, SPREAD FOOTING, GRADE BEAMS, PILES, ETC.) AS NECESSARY TO ENSURE A CODE COMPLIANT FOUNDATION TO THE SATISFACTION OF THE VILLAGE OF BUCHANAN BUILDING DEPARTMENT.

**PROPOSED LAYOUT
SCALE 1" = 20'**



CONTRACT VENUEE

STEVE GIORDANO BUILDERS, INC.
1340 BAPTIST CHURCH ROAD
YORKTOWN HEIGHTS, NY 10598

ARCHITECT

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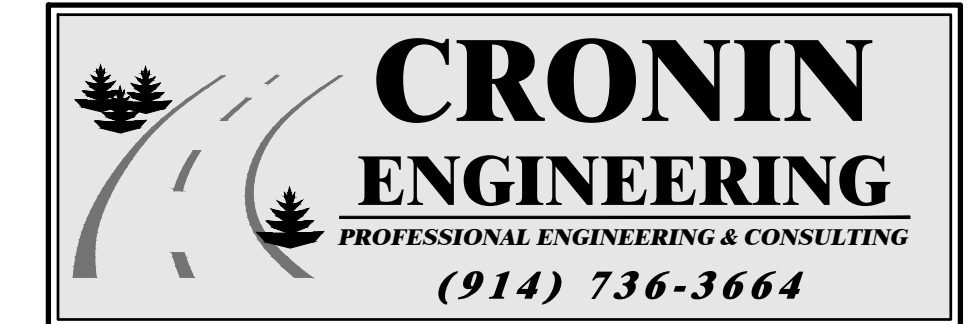
REVISIONS

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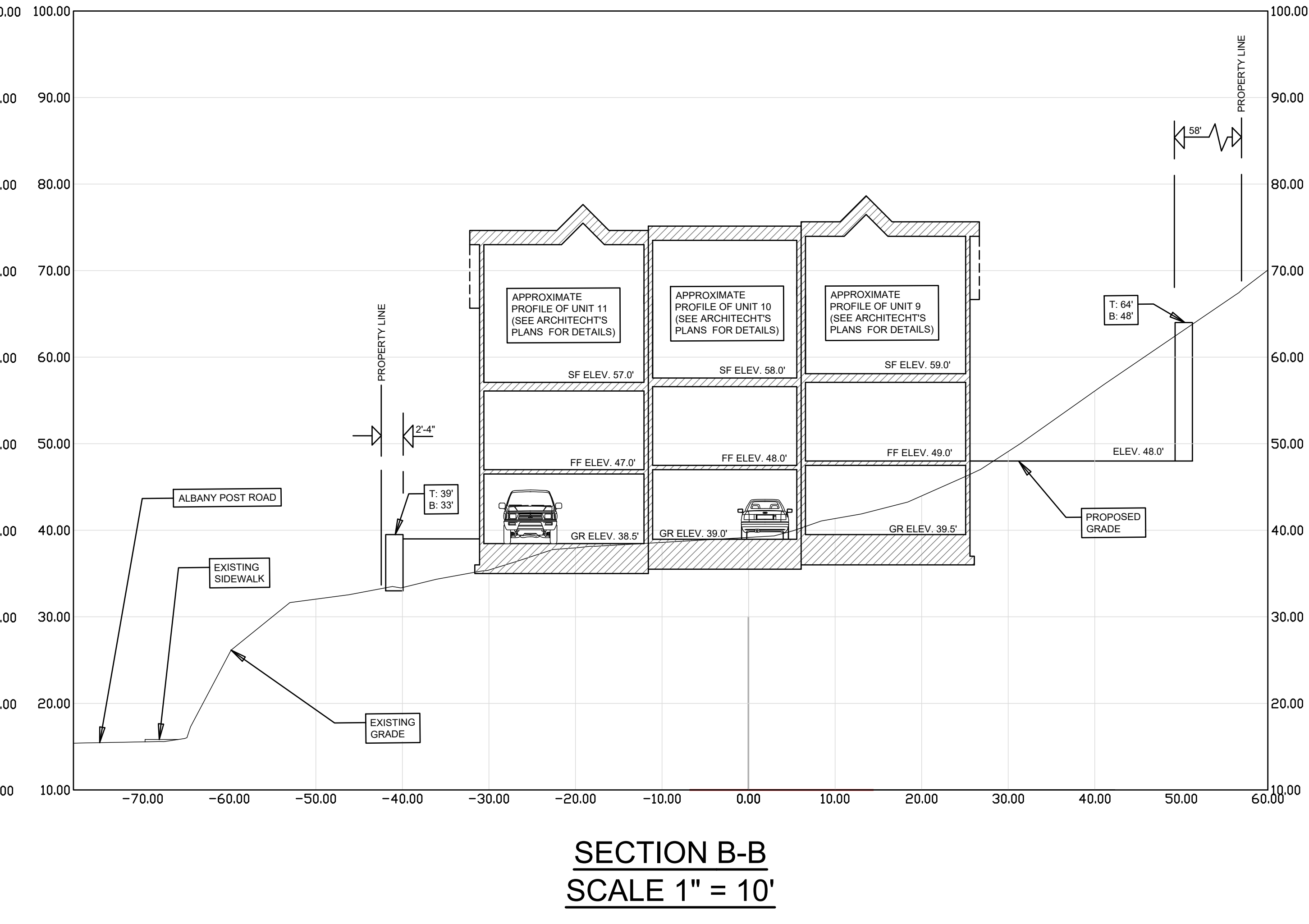
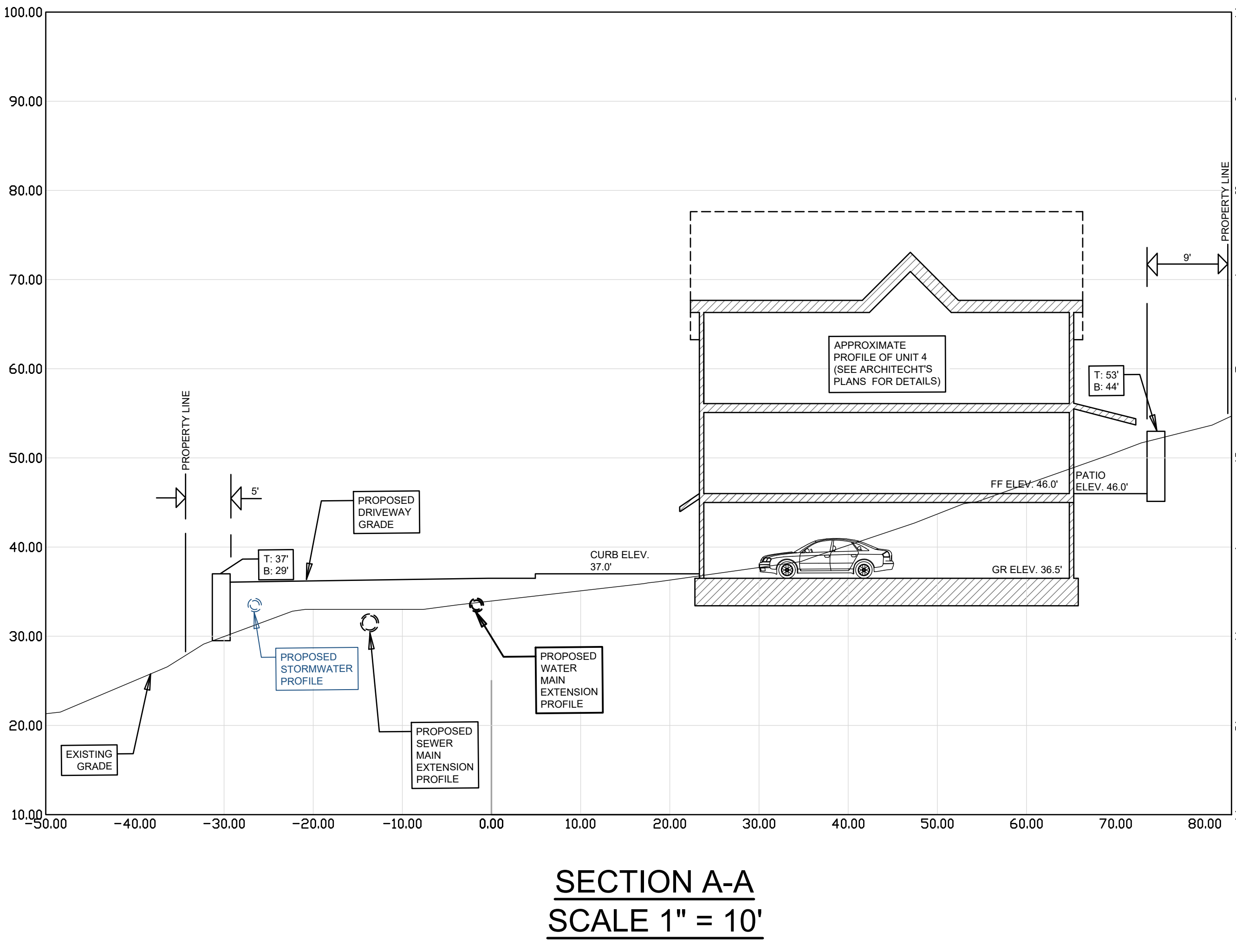
**39 Arlo Lane
Cortlandt Manor, New York 10567**

CROSS SECTION

**SITE DEVELOPMENT PLAN
FOR
3222 ALBANY POST ROAD**

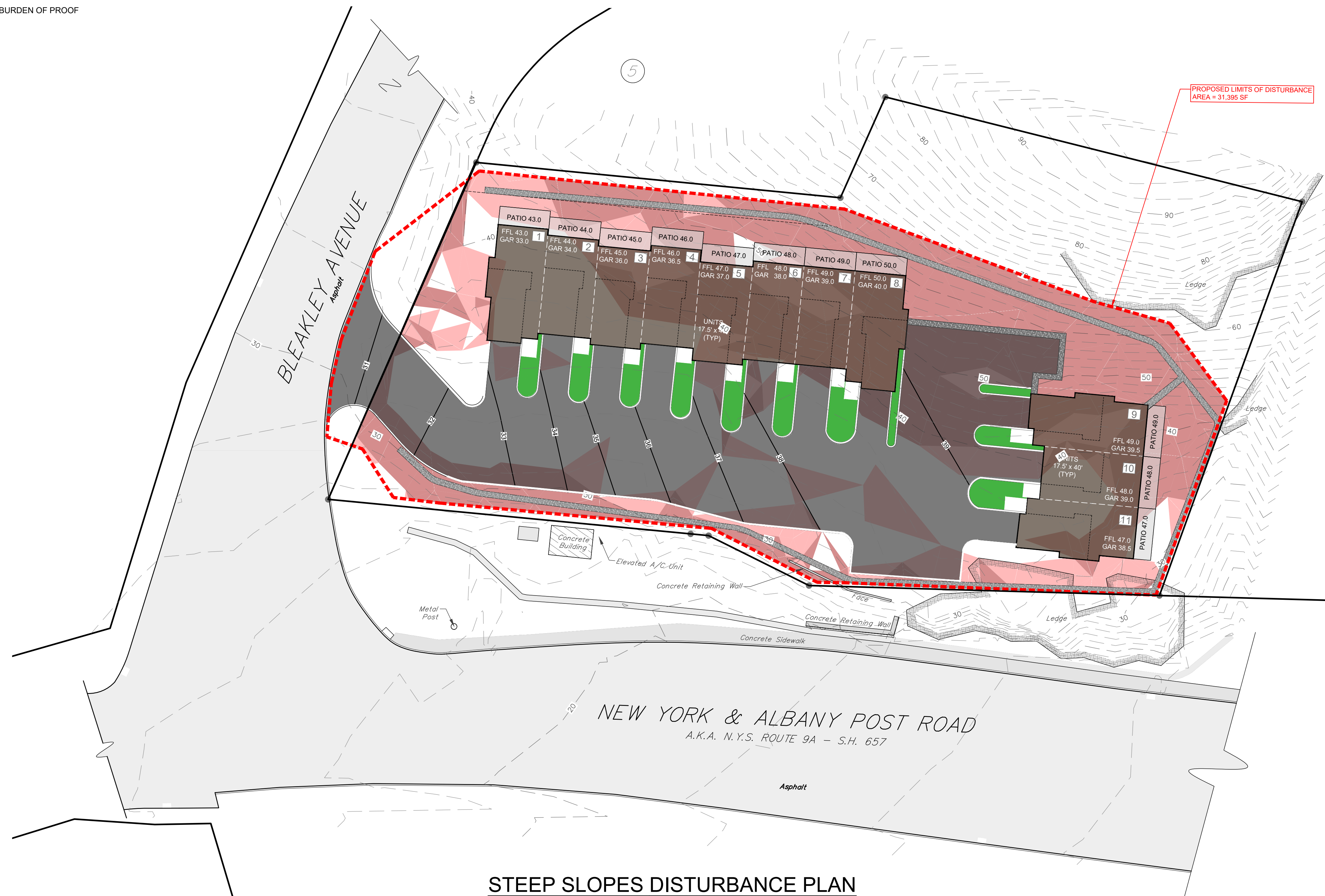
LOCATION:
3222 ALBANY POST ROAD
VILLAGE OF BUCHANAN, NEW YORK

SHEET 4 OF 7 **SP-2.1**

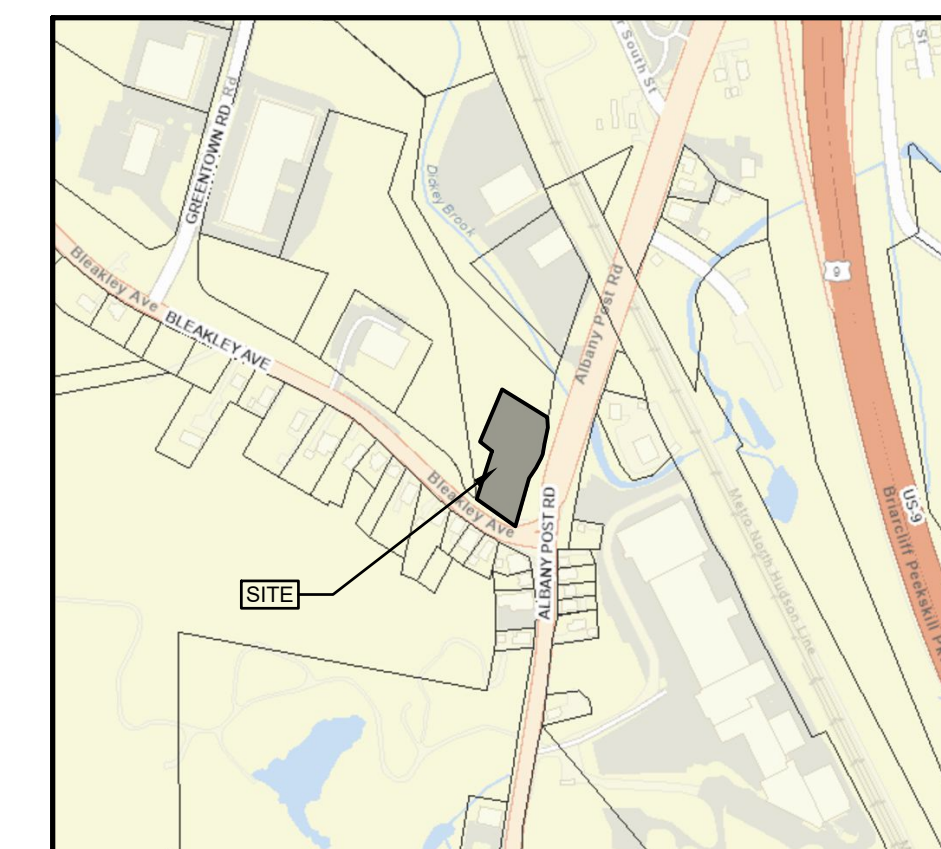


PROPOSED DISTURBANCE SLOPES ANALYSIS				
SLOPE RANGE	COLOR	TOTAL AREA ON SITE (SF)	AREA WITHIN DISTURBANCE (SF)	% OF SLOPE RANGE TO BE DISTURBED
0 - 15%		11,025	10,808	98%
15 - 30%		6,874	6,044	88%
> 30%		20,578	13,161	64%*

*SEE REQUIREMENTS OF SECTION 165-6-1 FOR BURDEN OF PROOF



STEEP SLOPES DISTURBANCE PLAN
SCALE 1" = 20'



LOCATION MAP SCALE: 1" = 500'



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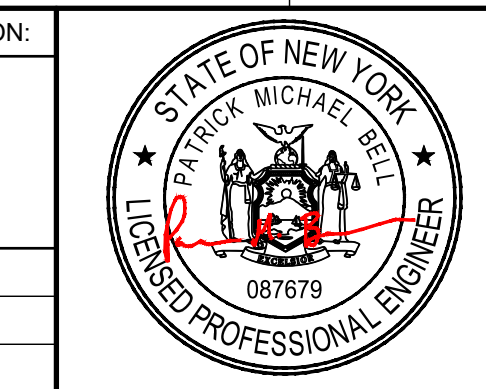
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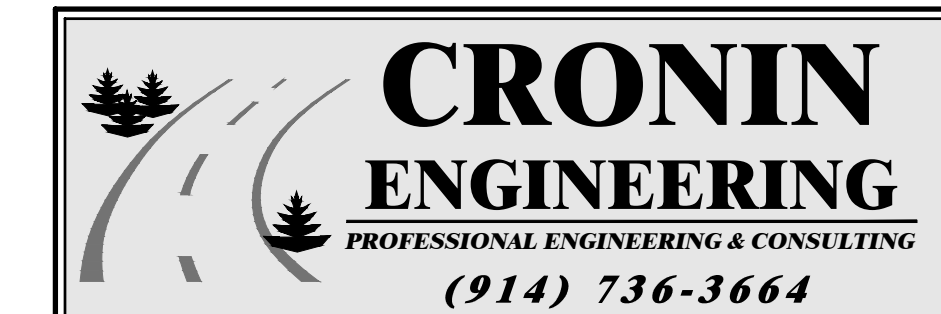
#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:

SECTION: 43.11
BLOCK: 1
LOT: 6
SUBLOT: ----
DRAWN BY: KJW/LC
CHECKED: JCA/KCS/PMB
PROJECT: 3222 ALBANY POST RD
DATE: JUNE 11, 2026
JOB #: 251203



PATRICK M. BELL, P.E.
LICENSE #087679



39 Arlo Lane
Cortlandt Manor, New York 10567

STEEP SLOPES DISTURBANCE PLAN

**SITE DEVELOPMENT PLAN FOR
3222 ALBANY POST ROAD**

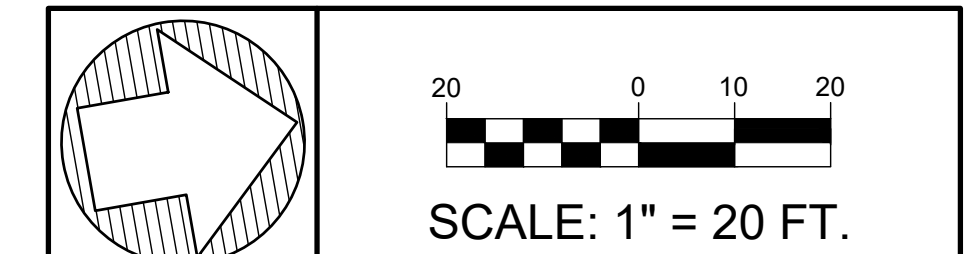
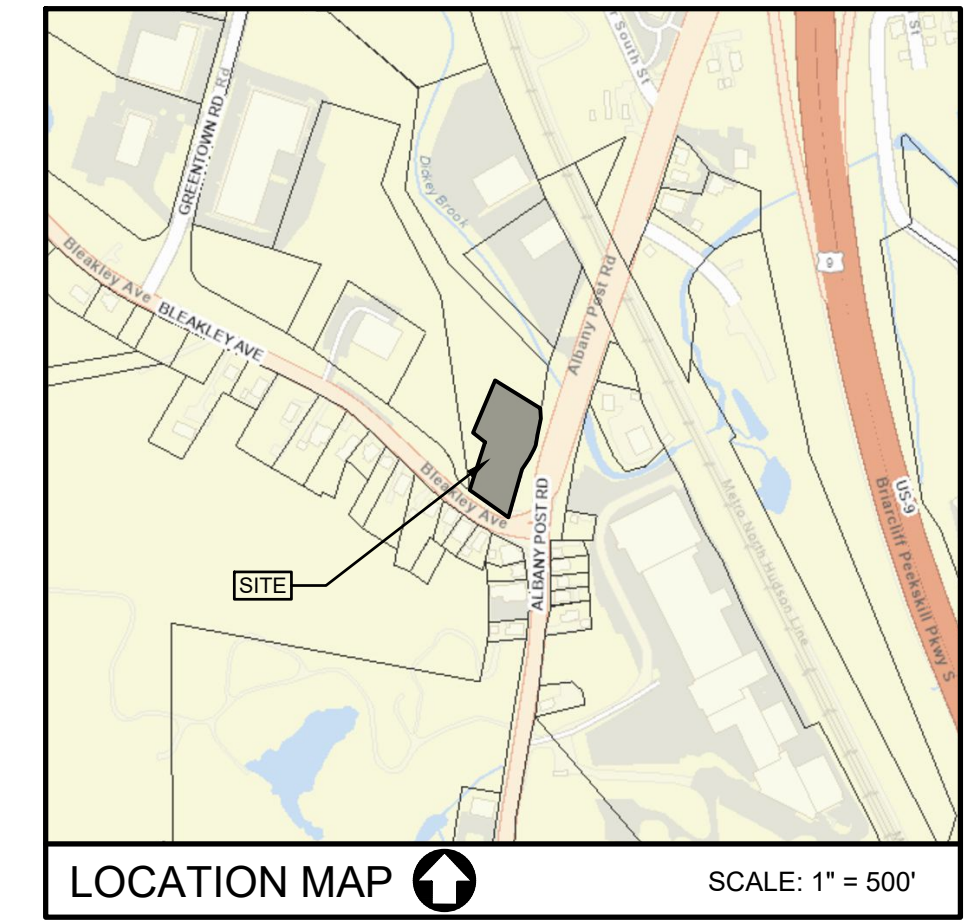
LOCATION:
3222 ALBANY POST ROAD
VILLAGE OF BUCHANAN, NEW YORK

SHEET 5 OF 7 **SP-2.2**



EROSION AND SEDIMENT CONTROL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY, PRIOR TO EXPECTED RAIN EVENTS, AND AFTER EACH HEAVY RAIN TO ENSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
3. THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENGINEER, AND IN ACCORDANCE WITH ACCEPTED STANDARDS.
4. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
6. ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
7. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
8. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
9. SOIL SEEDING AND FERTILIZER AMENDMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".
10. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".



CONTRACT VENDEE
 STEVE GIORDANO BUILDERS, INC.
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SURVEYOR
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 3063 ROUTE 9
 COLD SPRING, NY 10516

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REVISIONS

#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:
 SECTION: 43.11
 BLOCK: 1
 LOT: 6
 SUBLOT: ----
 DRAWN BY: KJW/LC
 CHECKED: JCA/KCS/PMB
 PROJECT: 3222 ALBANY POST RD
 DATE: JUNE 11, 2026
 JOB #: 251203

PATRICK M. BELL, P.E.
 LICENSE #087679

CRONIN ENGINEERING
 PROFESSIONAL ENGINEERING & CONSULTING
 (914) 736-3664

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 Cortlandt Manor, New York 10567

EROSION AND SEDIMENT CONTROL PLAN

SITE DEVELOPMENT PLAN FOR 3222 ALBANY POST ROAD

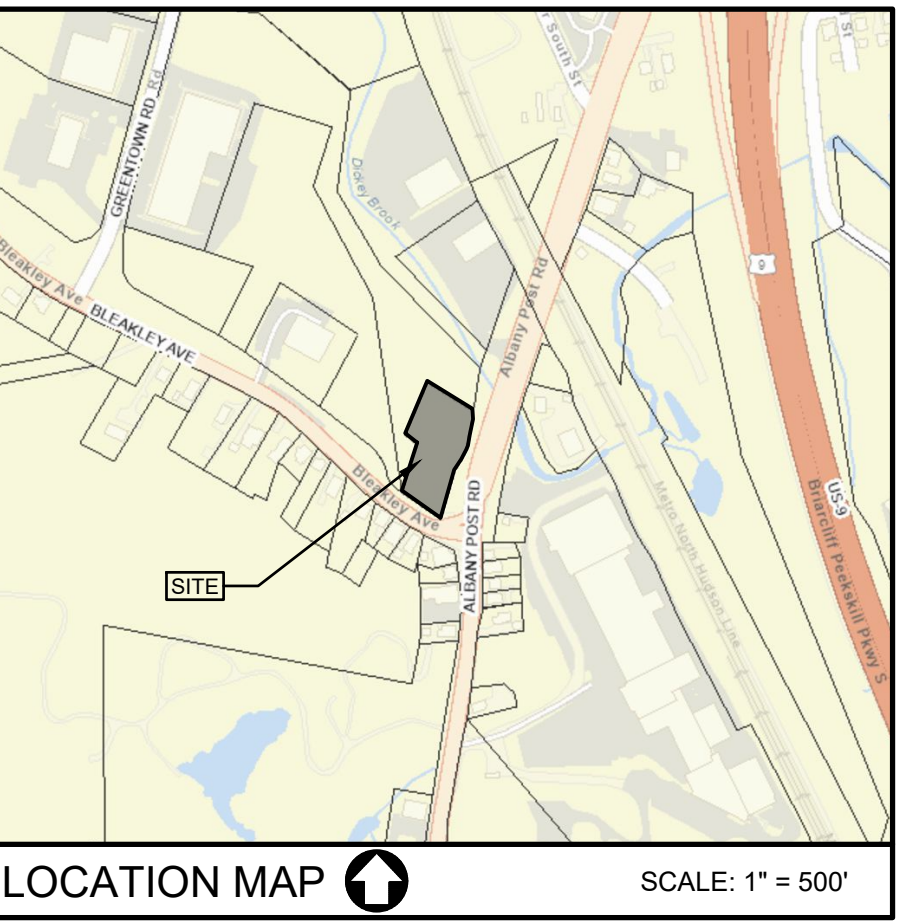
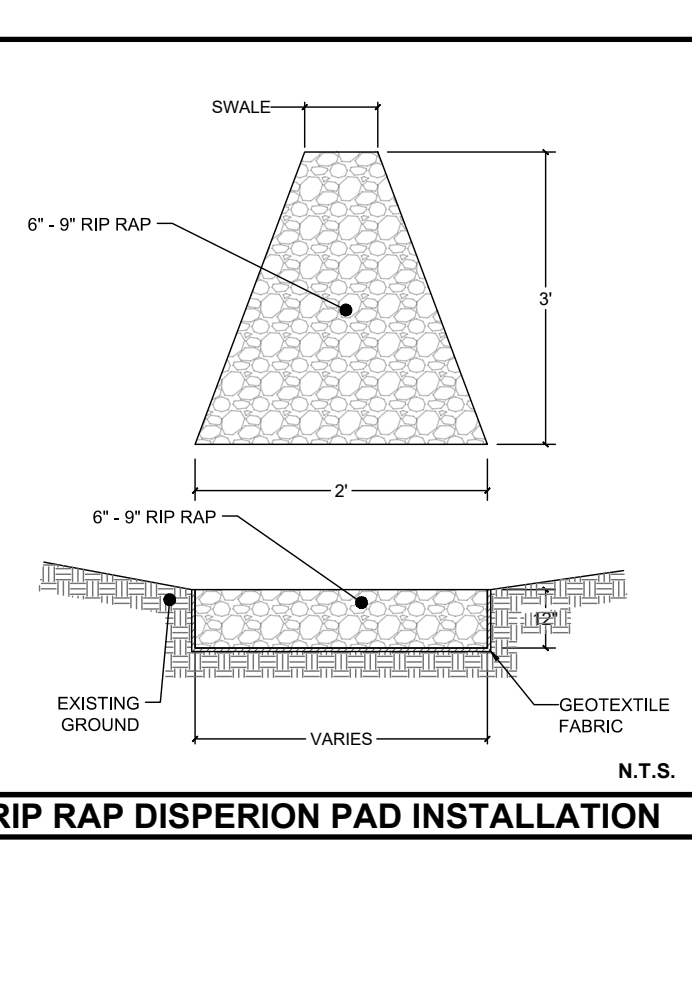
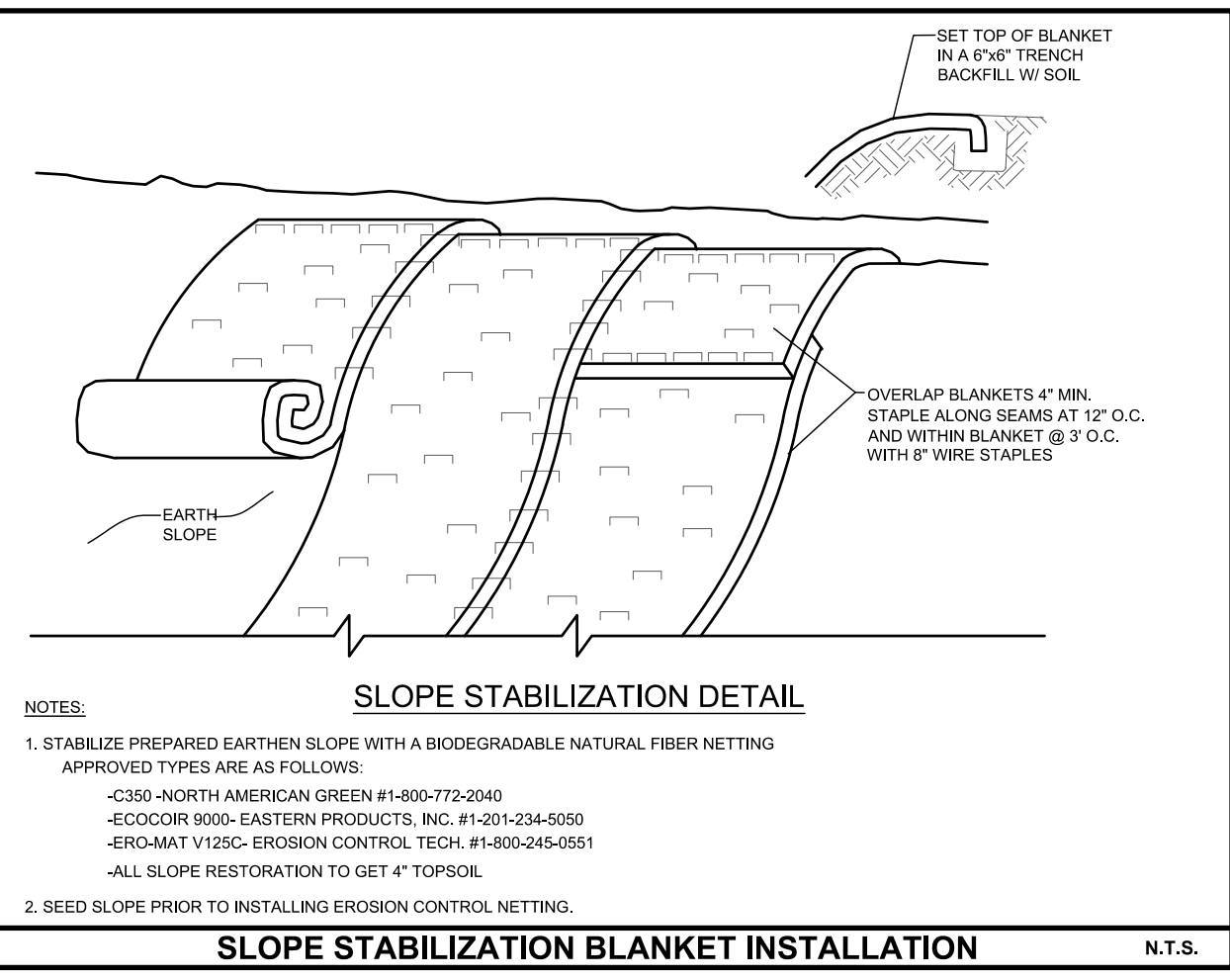
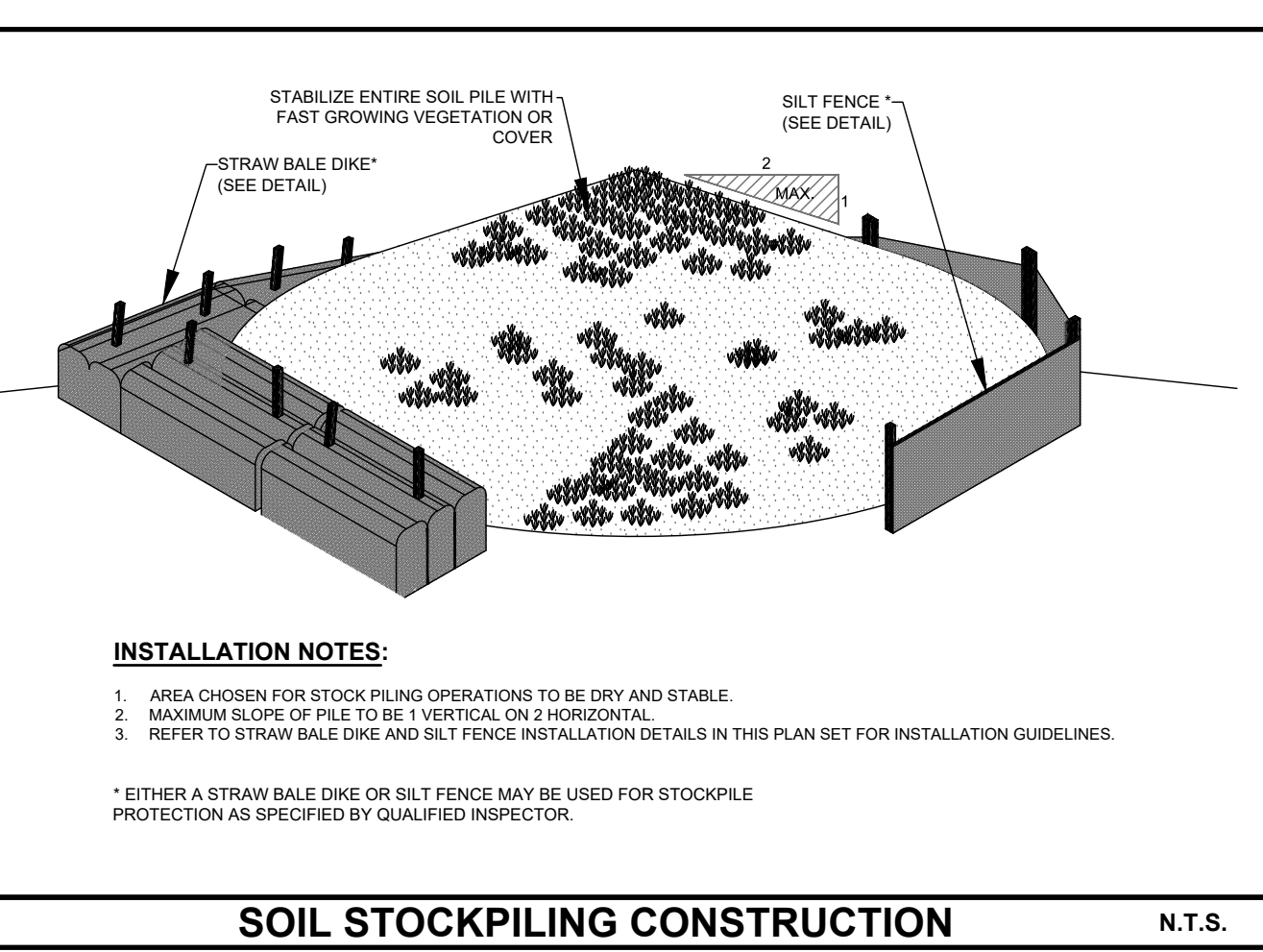
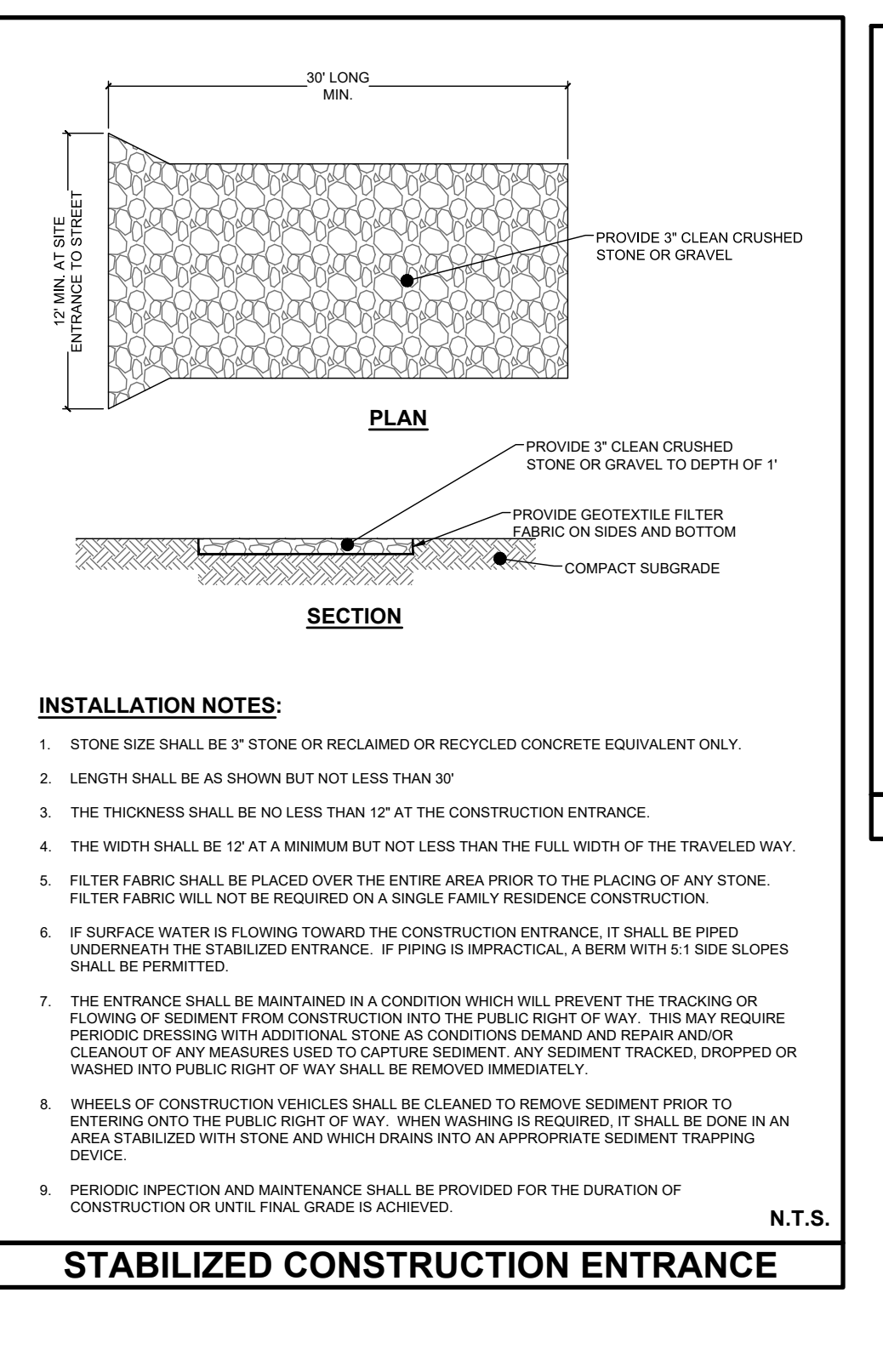
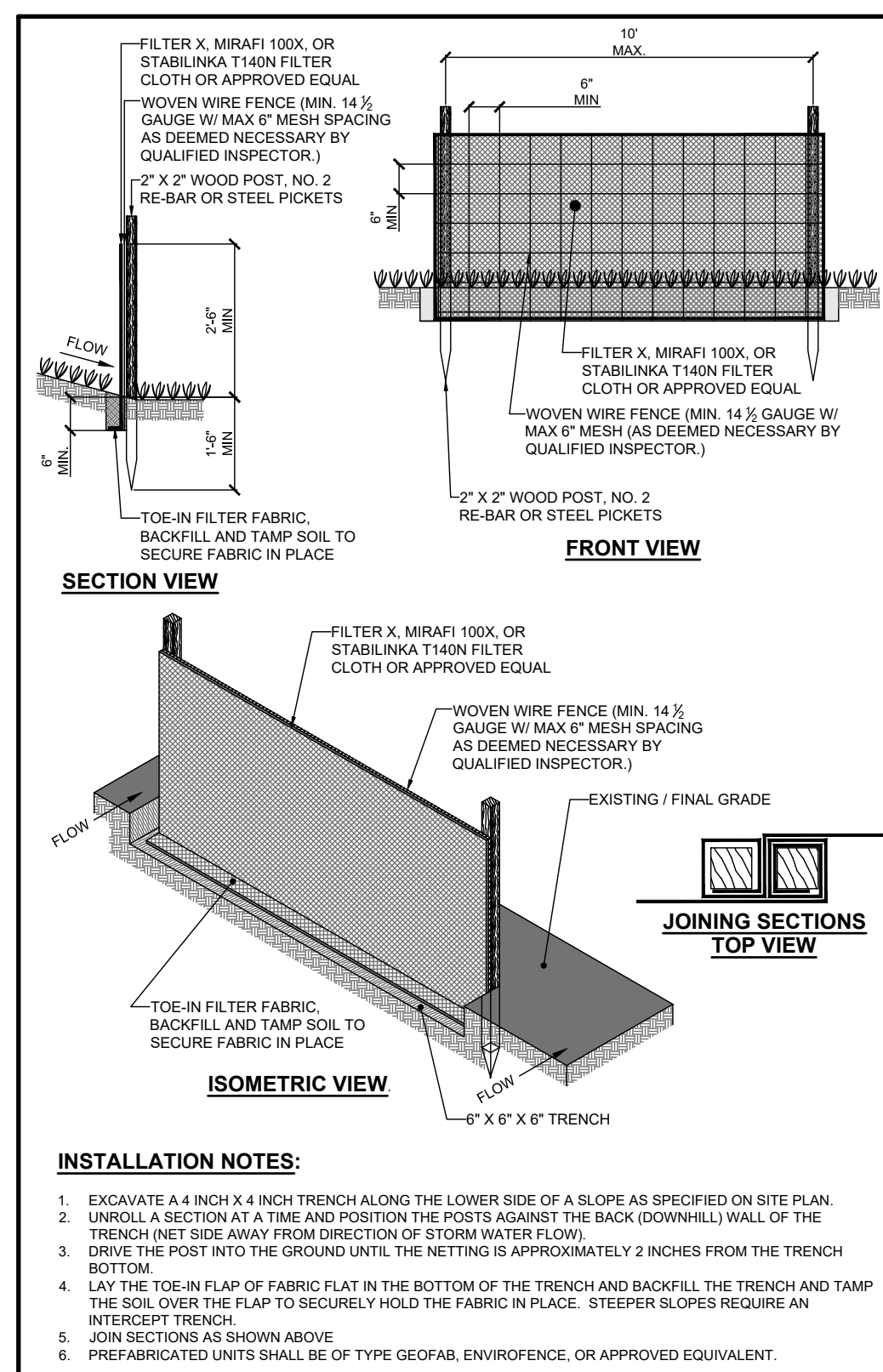
LOCATION:
 3222 ALBANY POST ROAD
 VILLAGE OF BUCHANAN, NEW YORK

SHEET 6 OF 7 **EC-3.0**



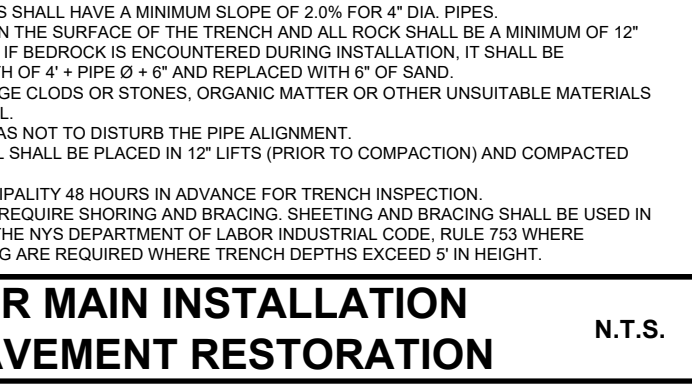
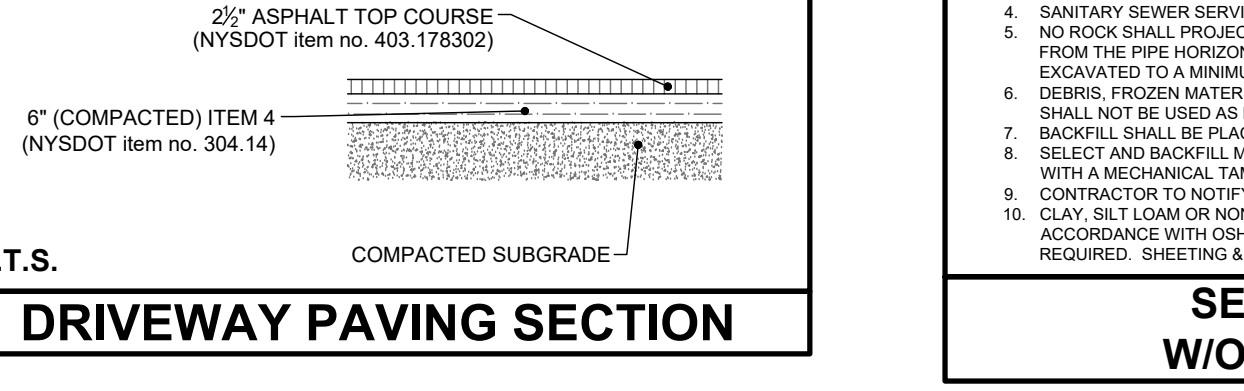
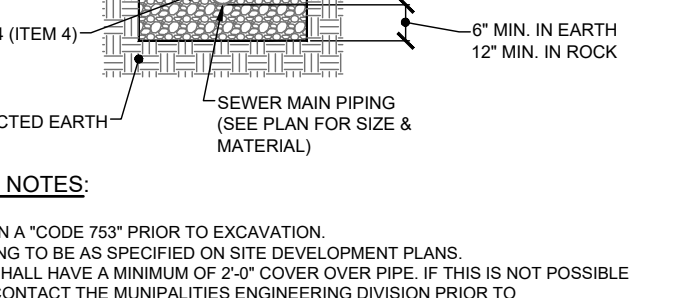
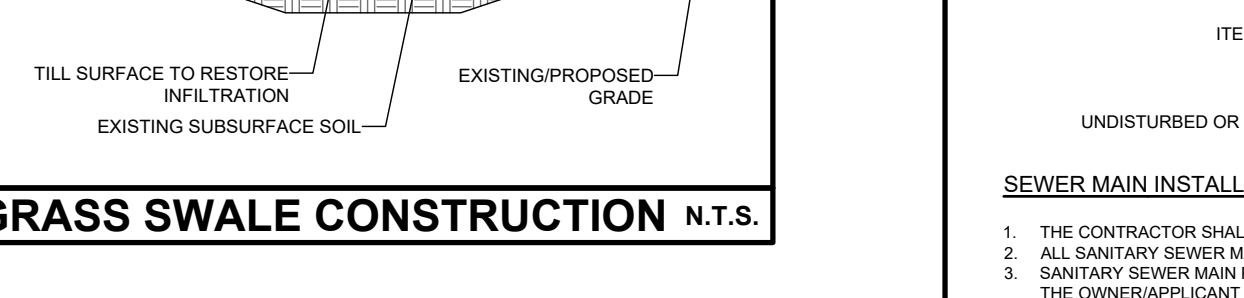
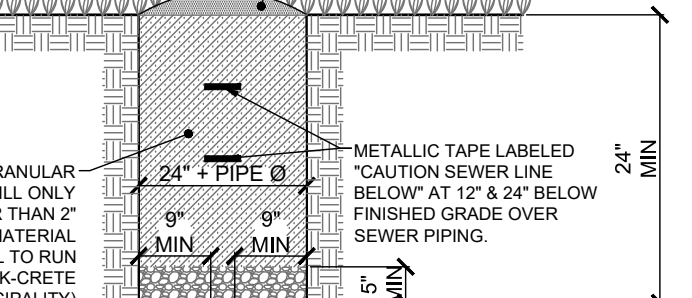
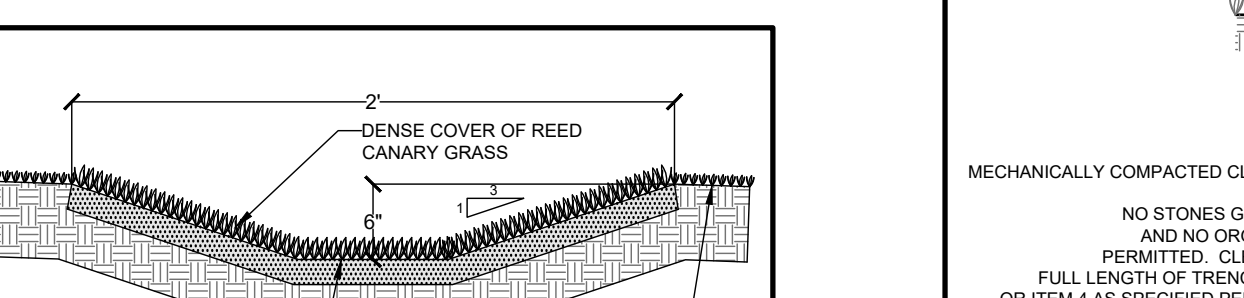
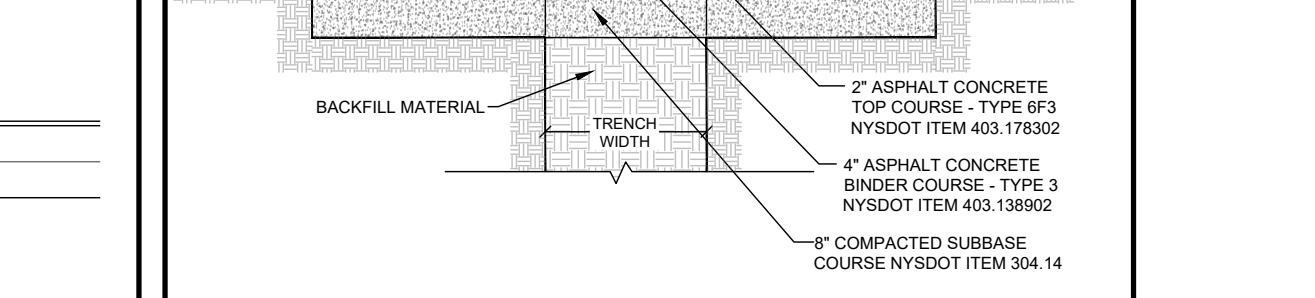
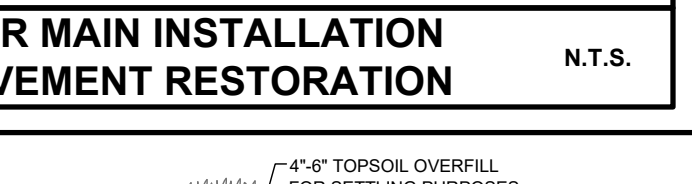
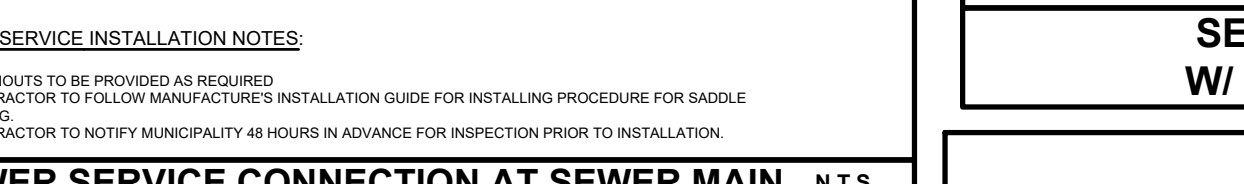
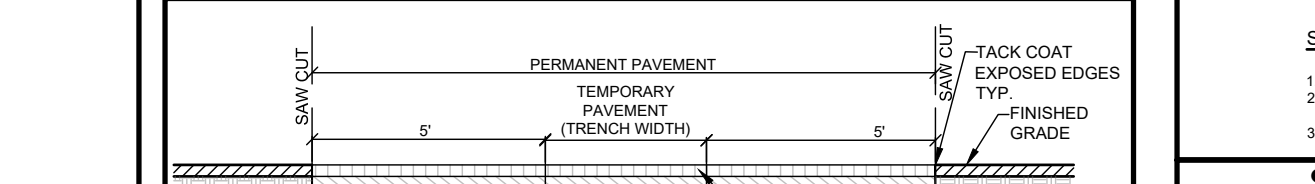
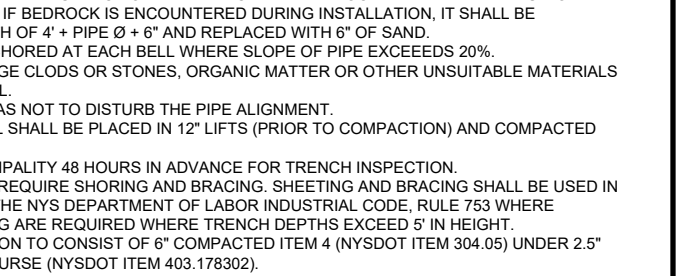
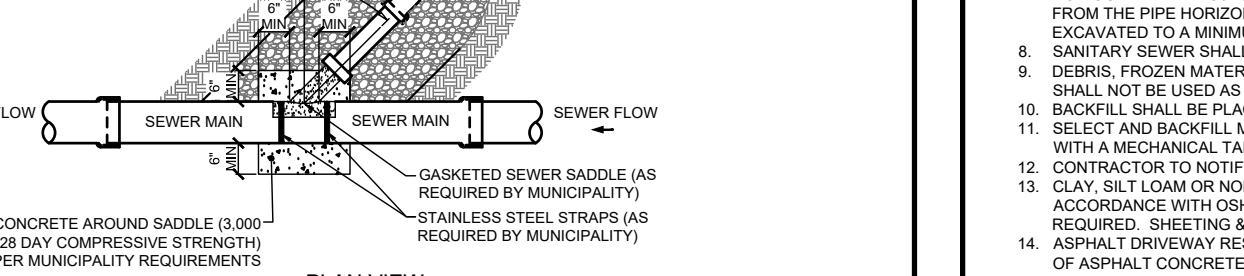
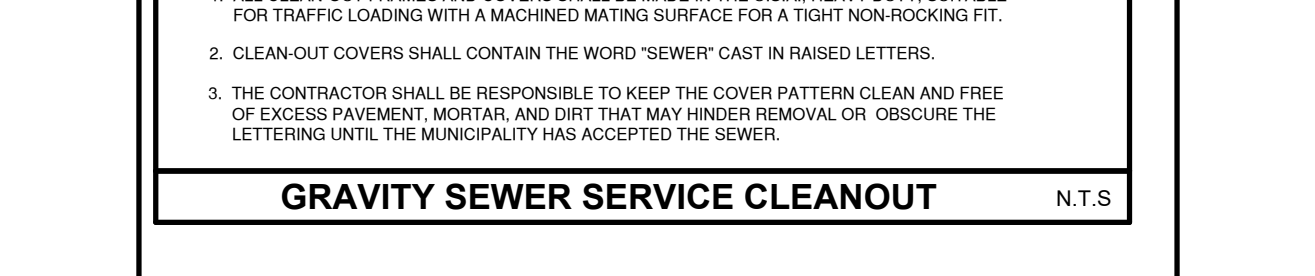
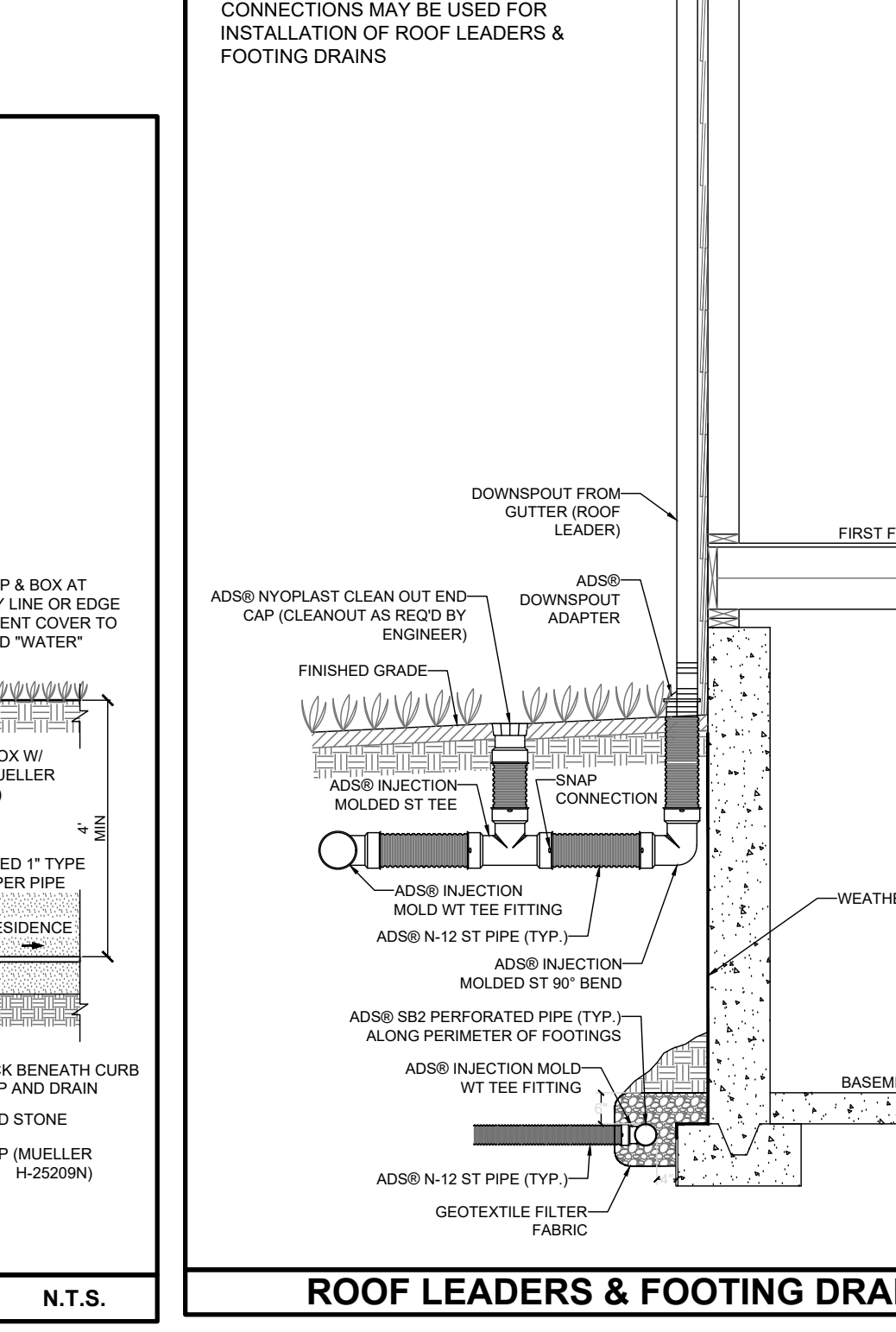
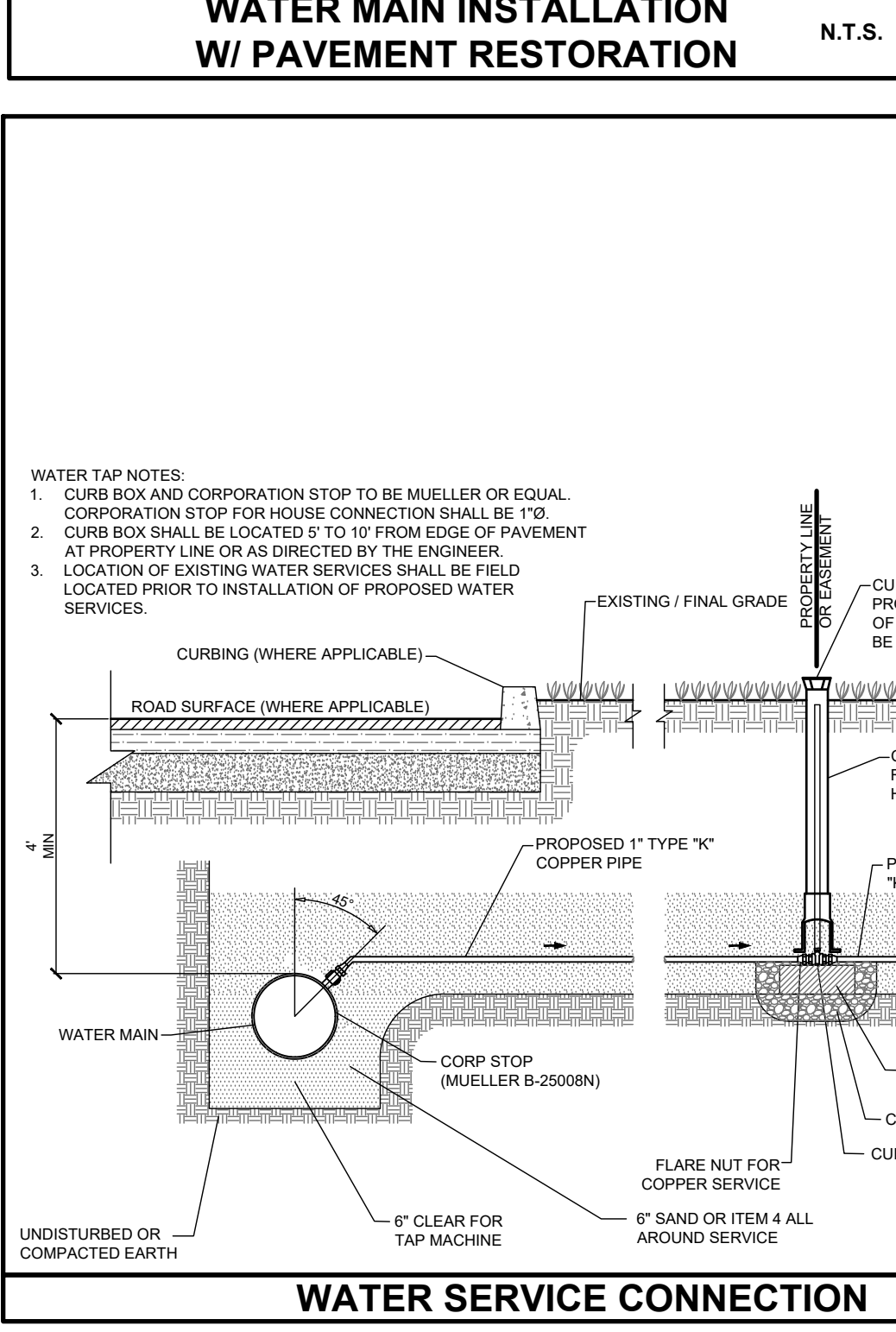
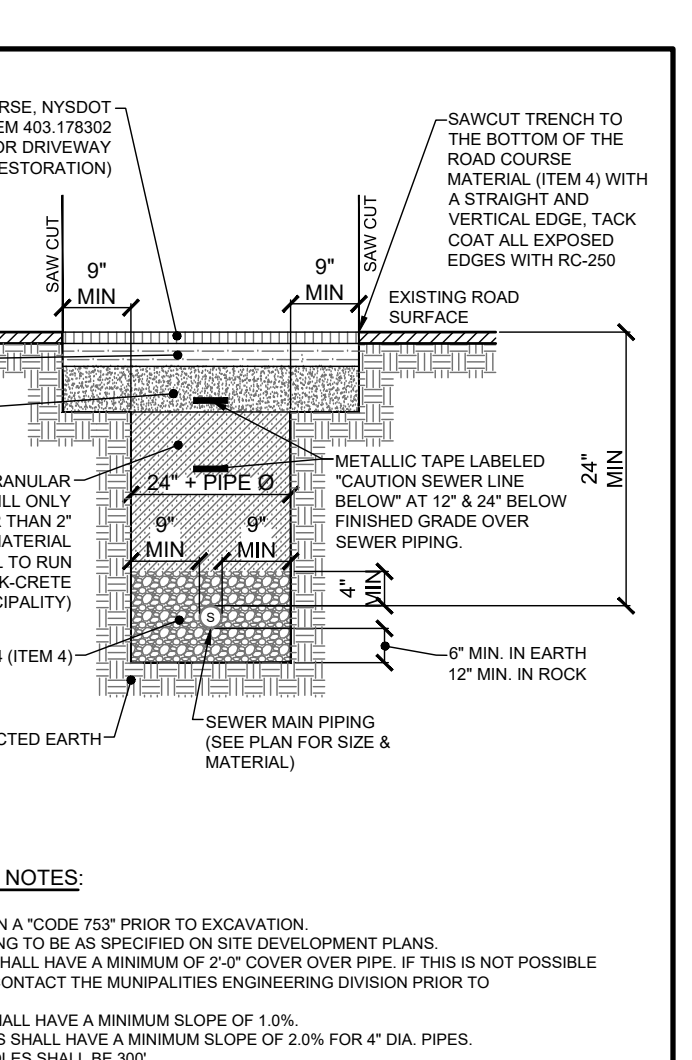
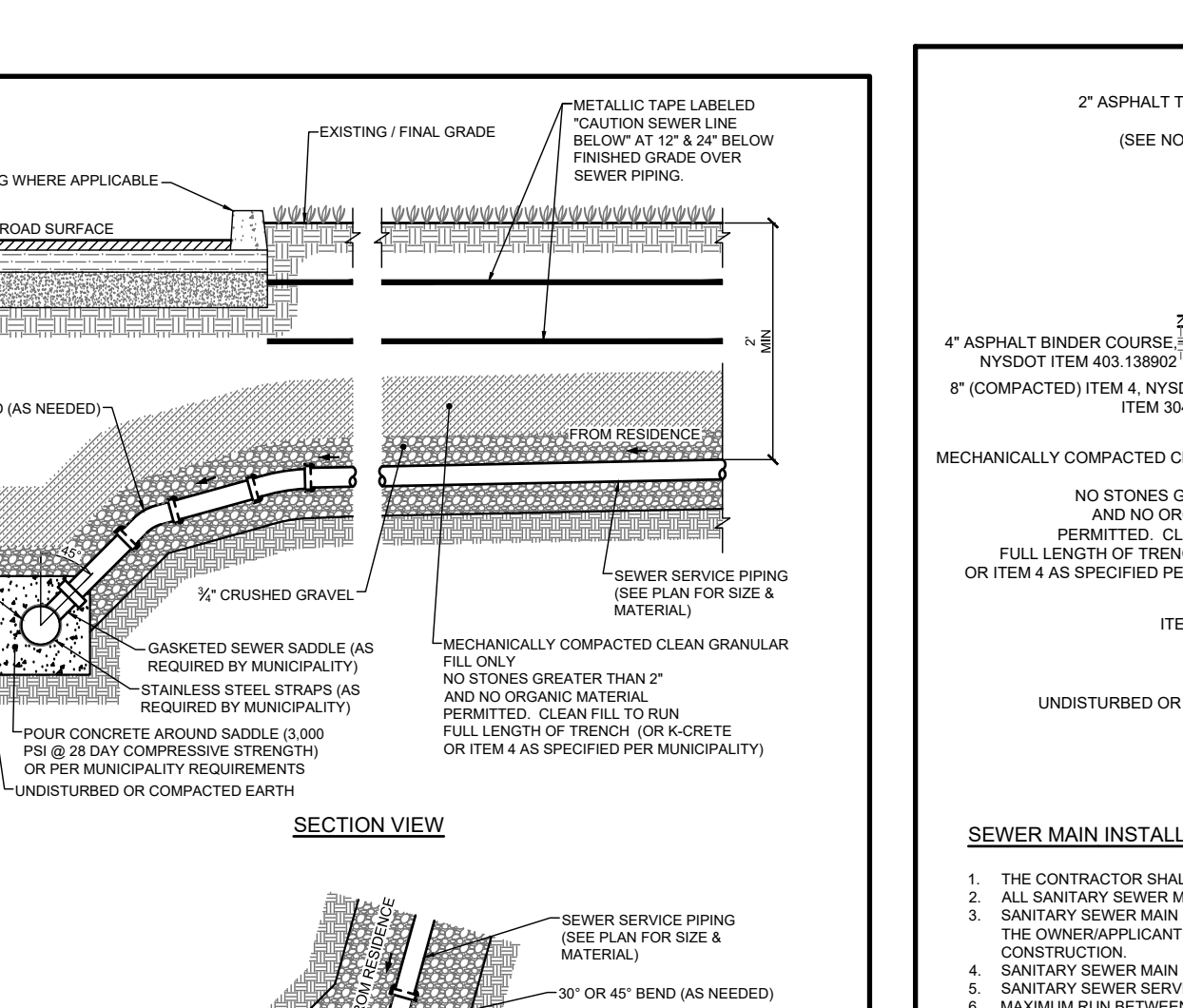
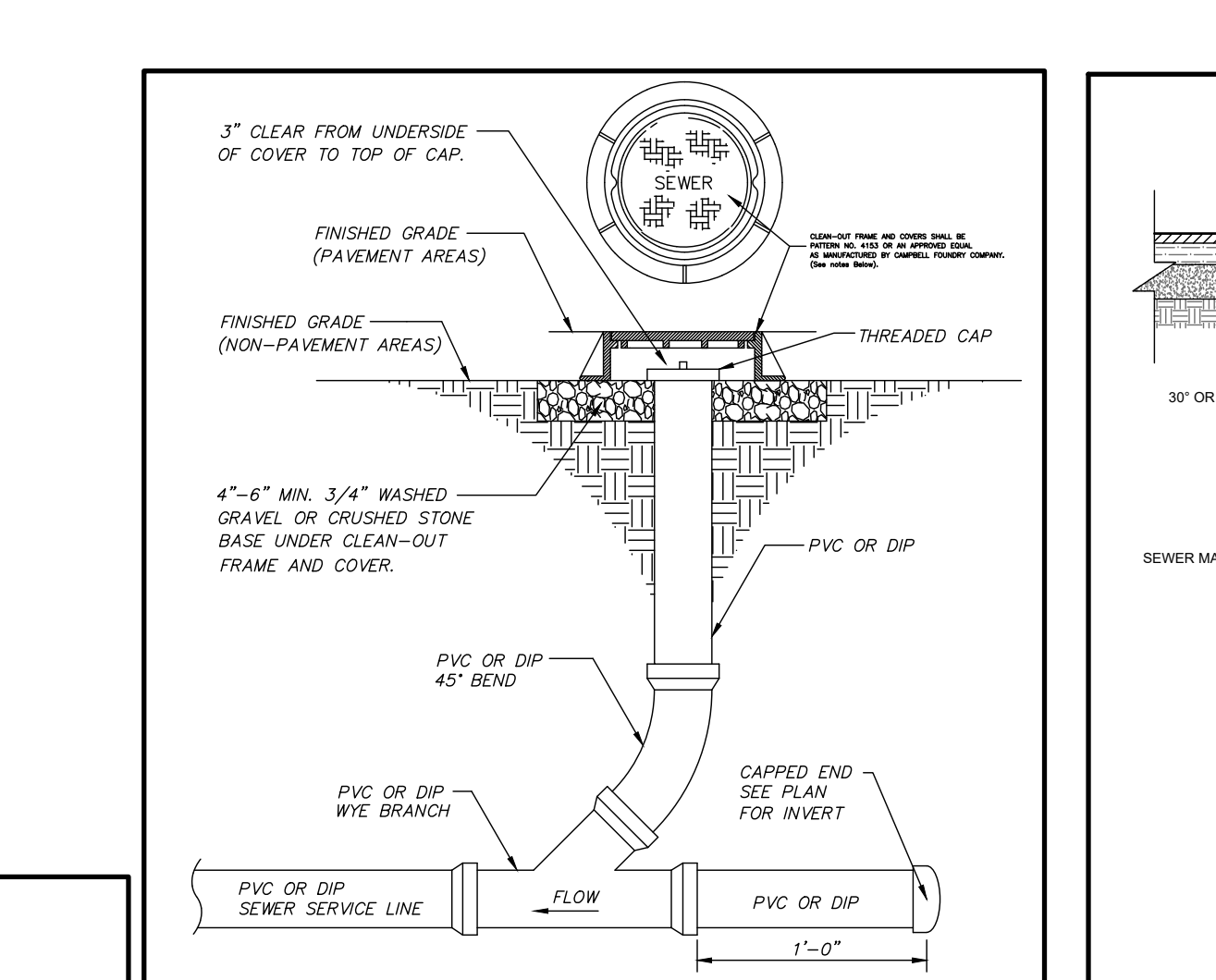
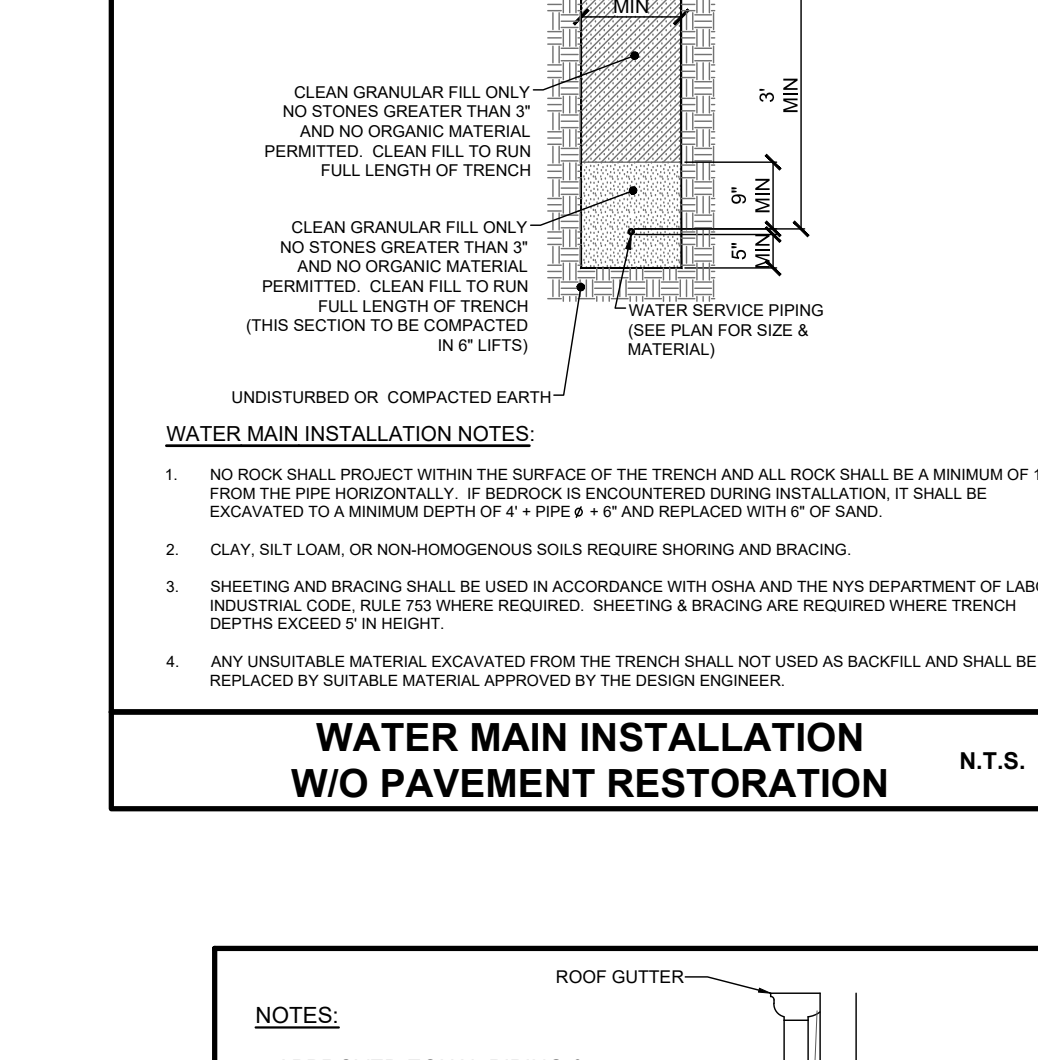
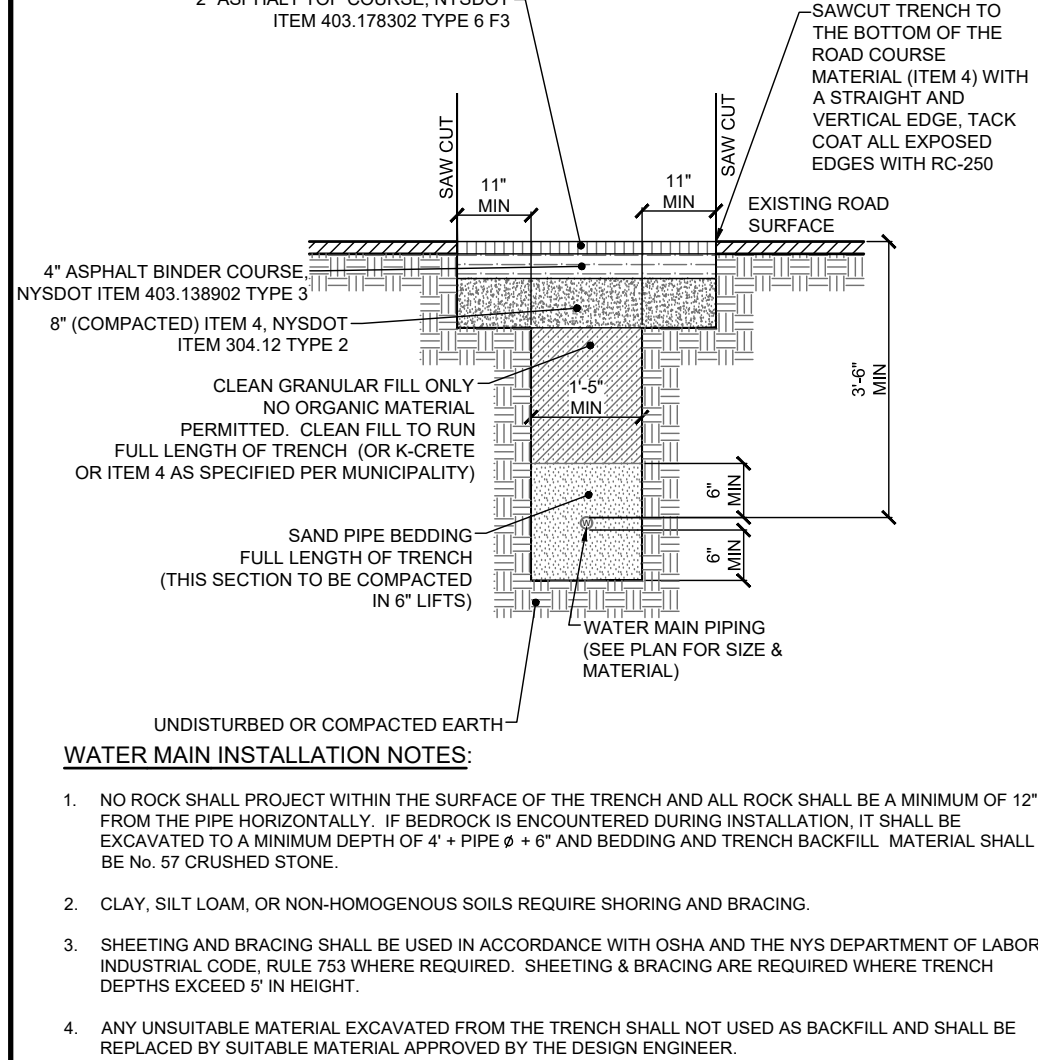
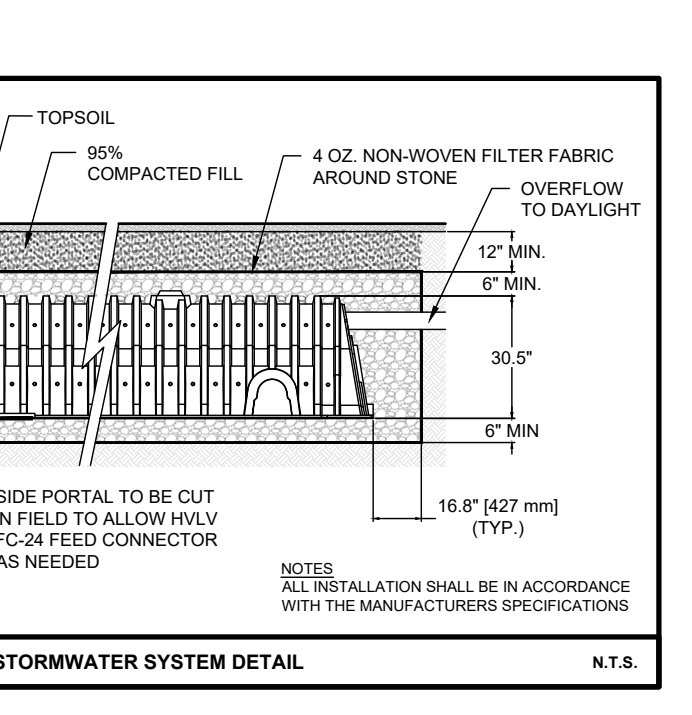
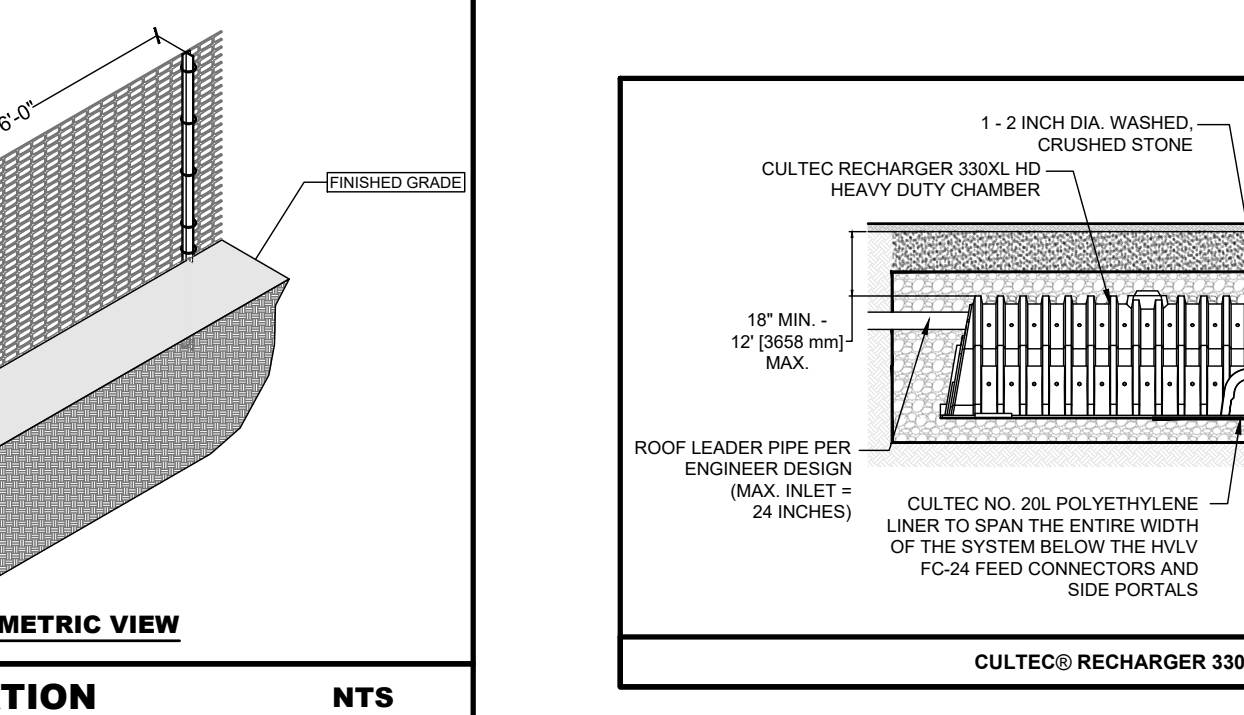
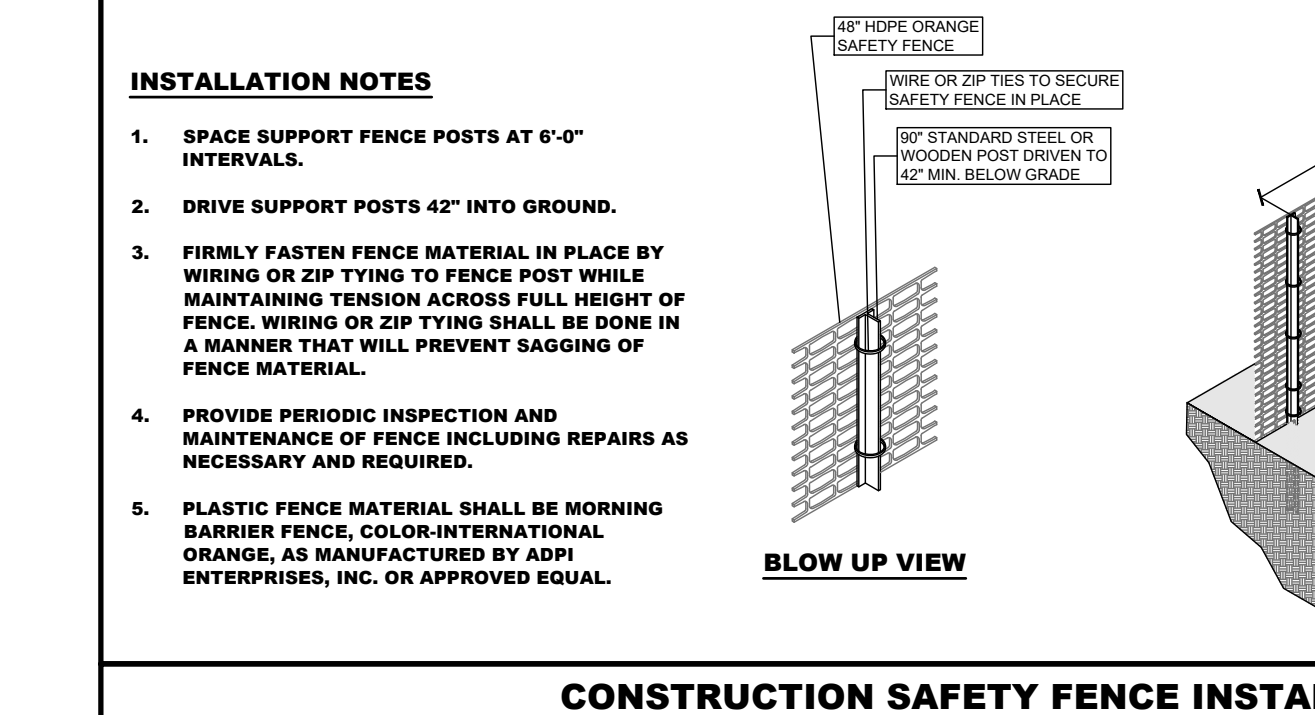
EROSION AND SEDIMENT CONTROL
 SCALE 1" = 20'





SILT FENCE INSTALLATION N.T.S.

STABILIZED CONSTRUCTION ENTRANCE N.T.S.



CONTRACT VENUEE
STEVE GIORDANO BUILDERS, INC.
 1340 BAPTIST CHURCH ROAD
 YORKTOWN HEIGHTS, NY 10598

ARCHITECT
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#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:	
SECTION:	43.11
BLOCK:	1
LOT:	6
SUBLOT:	
DRAWN BY:	KJW/LC
CHECKED:	JCA/KCS/PMB
PROJECT:	3222 ALBANY POST ROAD
DATE:	JUNE 11, 2026
JOB #:	251203

STATE OF NEW YORK	PATRICK MICHAEL BELL
REGISTERED PROFESSIONAL ENGINEER	087679
EXPIRATION DATE:	03-31-2027
PATRICK M. BELL, P.E.	LICENSE #087679

CRONIN ENGINEERING
 PROFESSIONAL ENGINEERING & CONSULTING
 (914) 736-3664

39 Arlo Lane
 Cortlandt Manor, New York 10567

CONSTRUCTION DETAILS

SITE PLAN FOR
3222 ALBANY POST ROAD

LOCATION:
 3222 ALBANY POST ROAD
 VILLAGE OF BUCHANAN, NEW YORK

SHEET 7 OF 7 **CD-4.0**